



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

Permit & Request Application

Item 8a

Project Permit(s) & Fees

Permit: PM Fee: N/A Multiple Permit Discount: _____ App. #: 14-340
AP _____ Date: 08/22/14
Received By: A. Aziz
Total Fee: _____

Project/Property Information

Project Address: 1095 Lighthouse Ave. APN: 006-361-023
Lot: 1 Block: 313 Tract: Pacific Grove Acres
ZC: R-3-M GP: VA/MDR 17.4 Lot Size: 17,378

Project: Residential Units

Description: Convert 3 motel buildings into 3 single family homes on three new lots and associated site improvements.

Applicant Name: Henry Ruhnke WRD Architects Phone #: 831-649-4642
Mailing Address: 2340 Garden Road, Monterey CA
Email Address: henry@wrdarch.com

Owner Name: Matt Tanzi Phone #: 408-218-5809
Mailing Address: _____
Email Address: matteoj@sbcglobal.net

Permit(s)/Request(s)

<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> VAR: Variance
<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> HPP: Historic Preservation Permit	<input type="checkbox"/> AVAR: Administrative VAR
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HDP: Historic Demolition Permit	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> ADC: AP Design Change	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> HRP: Historic Relocation Permit	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> C-1 Interp. of Permitted Uses	<input type="checkbox"/> HD: Historic Determination	<input type="checkbox"/> IS & ND/MND: Initial Study
<input type="checkbox"/> ASP: Administrative SP	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit w/ Dev't	<input type="checkbox"/> EIR: Env. Impact Report
<input type="checkbox"/> TTM: Tentative Tract Map	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Permit Undocumented Unit	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> FTM: Final Tract Map	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> GPA: General Plan Amendment	<input checked="" type="checkbox"/> Other: <u>FPM</u>
<input type="checkbox"/> SPR: Site Plan Review	<input type="checkbox"/> COC: Certificate of Compliance	<input type="checkbox"/> ZCA: Zoning Code Amendment	<input type="checkbox"/> Other: _____

CEQA Determination

☐ Cat. Exempt, Class:
☐ ND: Negative Declaration
☐ MND: Mitigated ND
☐ EIR: Environmental Impact Report

Review Authority

☐ Staff ☐ NRC
☒ ZA ☐ HRC
☐ SPRC ☐ PC
☒ ARB ☐ CC

Does the property have?

☐ Active Planning Permit
☐ Active Building Permit
☐ Active Code Violation

Is the property within?

☐ ASA: Archaeologically Sensitive Area¹
☐ CZ: Coastal Zone²
☐ ASBS: Drainage into ASBS Watershed
☐ HRI: Historic Resources Inventory^{3,4}
☐ BP: Butterfly Preserve Buffer

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge. ***If the owner is not available for signature, written/electronic and signed verification from the owner shall be required at the time of submittal agreeing to 1) the Applicant acting as their agent, 2) this Certification and 3) the Applicant acknowledgement below.**

Applicant Signature: _____

Date: 08/22/14

Owner Signature (Required): _____

Date: 08/22/14

PROJECT DATA SHEET

Project Address: 1095 LIGHTHOUSE AVE.Submittal Date: 8/21/14Applicant(s): HENRY RUHNKE

Permit Type(s) & No(s): _____

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District		K-3-M		
Building Site Area		17,378 SF		
Density (multi-family projects only)				
Building Coverage		25.8 %	30.1 %	(3) BUILDINGS
Site Coverage		88.9 %	91.9 %	
Gross Floor Area		4,486 SF	5,234 SF	(3) BUILDINGS
Square Footage not counted towards Gross Floor Area		1,116 S.F.	1,116 S.F.	(E) GARAGES
Impervious Surface Area Created and/or Replaced			6,670 S.F.	ADD. \$ DRIVEWAY
Exterior Lateral Wall Length to be demolished in feet & % of total*		541'-0"	85' @ 15%	COMBINED (3) BLDGS.
Exterior Lateral Wall Length to be built			218'-0" LF	"
Building Height		18'-1"	18'-1"	AT TALLEST BLDG.
Number of stories		2	2	AT BLDG. B & C
Front Setback		10'-0"		
<u>RIGHT</u> Side Setback (specify side)		10'-0"		
<u>LEFT</u> Side Setback (specify side)		10'-0"		
Rear Setback		10'-0"		
Garage Door Setback				
Covered Parking Spaces		4	6	COMBINED (3) BLDGS.
Uncovered Parking Spaces		5	2	
Parking Space Size (Interior measurement)	9' x 20'			
Number of Driveways	1	4	3	COMBINED (3) BLDGS.
Driveway Width(s)		26'-0"	12'-0"	AT BLDG. A
Back-up Distance				
Eave Projection (Into Setback)	3' maximum			
Distances Between Eaves & Property Lines	3' minimum	11'-2"	0'-4"	AT BLDG. A & B
Open Porch/Deck Projections			5'-0"	
Architectural Feature Projections				
Number & Category of Accessory Buildings				
Accessory Building Setbacks				
Distance between Buildings		14'-0"	9'-2"	
Accessory Building Heights				
Fence Heights		6'-0"	6'-0"	

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

Item 8a

ARCHITECTURAL PERMIT NO.AP 14-440

FOR A PROPERTY LOCATED AT 1095 LIGHTHOUSE AVENUE TO ADD ENTRIES, LANDINGS AND A GARAGE AND ASSOCIATED SITE IMPROVEMENTS INCLUDING THE REMOVAL OF IMPERVIOUS SURFACES FOR A TOTAL OF 5,235 ADDITIONAL SQUARE FEET

FACTS

1. The subject site is located at 1095 Lighthouse Ave, Pacific Grove, 93950 APN 006-361-023
2. The subject site has a designation of Visitor Accommodation/Medium Density Residential 17.4 DU/AC on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-3-M zoning district.
4. The subject site is 17,378 square feet in size.
5. The subject site is developed with three buildings currently used as an 11 unit motel.
6. This project has been determined to be CEQA Exempt under CEQA Guidelines 15301.e.2 & 15315
7. The subject site is proposed to be subdivided into three lots by Parcel Map PM14-440 with one single-family residence on each lot.

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-3-M zoning district including setbacks and height requirements and;
2. Section 23.64.160 permits projections of open porches, stairways and landings into the front or side yard;
3. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No.'s 2, 27, 28, and 34;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.
5. Single-family residences are permitted in the R-3-M zoning district.

PERMIT

Architectural Permit AP 14-440 to allow:

- 1) Entries, landings, and a two-car garage and associated site improvements including the removal of impervious surfaces for a total of 5,235 additional square feet.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.

Item 8a

3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans “Residential Units 1095 Lighthouse Ave” dated August 21, 2014, on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12
8. **Stormwater Treatment:** All downspouts shall be disconnected and drain to landscape areas. .

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of AP 14-440 to allow entries, landings, and a two-car garage and associated site improvements including the removal of impervious surfaces for a total of 5,235 additional square feet.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 23rd day of September, 2014, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Jim McCord, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Matt Tanzi

Date

Notice of Exemption**Item 8a
Appendix E**

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk
County of: Monterey County

From: (Public Agency): City of Pacific Grove
300 Forest Ave. Pacific Grove, CA 93950

(Address)

Project Title: Residential Units - 1095 Lighthouse Ave

Project Applicant: Henry Ruhnke

Project Location - Specific:

1095 Lighthouse Ave. APN 006-361-023-000

Project Location - City: Pacific Grove Project Location - County: Monterey

Description of Nature, Purpose and Beneficiaries of Project:

Subdivision of two parcels into three single-family lots and improvements to three existing buildings including adding entries, landings, and a garage and entry on the corner parcel. Also included is the removal of impervious surface in rear yards and replacement with a pervious surface.

Name of Public Agency Approving Project: City of Pacific Grove

Name of Person or Agency Carrying Out Project: Matt Tanzi

Exempt Status: **(check one):**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☐ Categorical Exemption. State type and section number: _____
- ☐ Statutory Exemptions. State code number: 15301.e.2 & 15315

Reasons why project is exempt:

Minor additions to three existing structures totalling less than 10,000 square feet and minor division of parcels in an urbanized area into a total of three parcels.

Lead Agency
Contact Person: Anastazia Aziz, AICP Senior Planner Area Code/Telephone/Extension: 831-648-3192

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? ☐ Yes ☐ No

Signature:  Date: 09/11/14 Title: Sr. Planner

☒ Signed by Lead Agency ☐ Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

MONTEREY PENINSULA WATER MANAGEMENT DISTRICT
NON-RESIDENTIAL WATER RELEASE FORM AND WATER PERMIT APPLICATION

NOTE: When approved and signed by the Jurisdiction this form must be submitted with final and complete Construction Plans to:

Monterey Peninsula Water Management District Permit Office
5 Harris Court, Bldg. G ~ Monterey, CA 93940 ~ (831) 658-5601 ~ www.mpwmd.net ~ Fax (831) 644-9558
Completing the Water Release Form & Water Permit Application does not guarantee issuance of a Water Permit.

ALL SPACES BELOW MUST BE COMPLETED OR THE APPLICATION MAY NOT BE PROCESSED. (Please print firmly)

1. OWNERSHIP INFORMATION:

Name: MATT TANZI

Daytime telephone: (408) 218-5809

Mailing Address: 6711 MT. LENEVE

3. PROPERTY INFORMATION:

Year building was constructed?

Address: 10015 Lighthouse Ave

Existing Square-footage

Is a water meter needed? (Circle one) YES (How Many) NO

Assessor Parcel Number 006-361-023

Water company serving parcel: Proposed Square-footage NOTE: Separate water meters are required for each User.

4. Type of Non-Residential Use: GROUP III MOTEL/HOTEL

5. Project Description (Be thorough and detailed):

CONVERSION OF 11 MOTEL UNIT INTO 3 NEW SINGLE FAMILY RESIDENCE ON NEW LOTS

Any Change in Use/Expansion of Use requires a Water Permit. Mandatory Retrofit Upon Expansion of Use.

Table No. 1 Existing Group I – Low to Moderate Use
(All Uses before project)

Type of Use	Quantity	Factor	Use/AF
Auto Uses	x	0.00007	=
Bank	x	0.00007	=
Church	x	0.00007	=
Dental/Medical/Vet Clinic	x	0.00007	=
Family Grocery	x	0.00007	=
Fast Photo	x	0.00007	=
Gym	x	0.00007	=
Nail Salon	x	0.00007	=
Office	x	0.00007	=
Retail	x	0.00007	=
School	x	0.00007	=
Warehouse	x	0.00007	=

Existing Group II – High Use
(All Uses before project)

Type of Use	Quantity	Factor	Use/AF
Bakery	x	0.0002	=
Coffee House	x	0.0002	=
Convenience Store	x	0.0002	=
Deli	x	0.0002	=
Dry Cleaner	x	0.0002	=
Pizza	x	0.0002	=
Sandwich Shop	x	0.0002	=
Supermarket	x	0.0002	=

Existing Group III – Miscellaneous Uses
(All Uses before project)

Type of Use	Quantity	Factor	Use/AF
Assisted Living (6+beds)	x	0.085 bed	=
Beauty Shop	x	0.0567 station	=
Child Care	x	0.0072 child	=
Dog Grooming	x	0.0567 station	=
Dormitory	x	0.040 room	=
Gas Station	x	0.0913 pump	=
Laundromat	x	0.02 machine	=
Meeting Hall	x	0.00053 sf	=
Motel/Hotel/B&B	x	0.03 tub	=
Plant Nursery	x	0.1 room	=
Public Toilets	x	0.00009 sf	=
Public Urinals	x	0.038 toilet	=
Restaurant (Fast Food)	x	0.036 unit	=
Restaurant/Bar (General)	x	0.02 seat	=
Self-Storage	x	0.0008 unit	=
Skilled Nursing	x	0.120 bed	=
Spa	x	0.05 spa	=
Swimming Pool (each 100 sq-ft of pool surface)	x	0.02 sf	=
Theater	x	0.0012 seat	=
Zero Water Urinal	x	no value	=
EXISTING Quantity	TOTAL		= 1.1

Group IV – Modified Uses

Reduced water Capacity from types of uses listed in Groups I-III and have received a Water Use Credit for modifications

New Connections – Refer to District Rule 24-B-2 "Exterior Non-Residential Water Demand Calculations"

PROPOSED WATER USAGE (DIFFERENCE BETWEEN EXISTING USE – POST PROJECT USE)

(Jurisdiction must authorize water for positive result)

Post Project Group III – Miscellaneous Uses
(All Uses after project)

Type of Use	Quantity	Factor	Use/AF
Assisted Living (6+beds)	x	0.085 bed	=
Beauty Shop	x	0.0567 station	=
Child Care	x	0.0072 child	=
Dog Grooming	x	0.0567 station	=
Dormitory	x	0.040 room	=
Gas Station	x	0.0913 pump	=
Laundromat	x	0.02 machine	=
Meeting Hall	x	0.00053 sf	=
Motel/Hotel/B&B	x	0.03 tub	=
Plant Nursery	x	0.1 room	=
Public Toilets	x	0.00009 sf	=
Public Urinals	x	0.038 toilet	=
Restaurant (Fast Food)	x	0.036 unit	=
Restaurant/Bar (General)	x	0.02 seat	=
Self-Storage	x	0.0008 unit	=
Skilled Nursing	x	0.120 bed	=
Spa	x	0.05 spa	=
Swimming Pool (each 100 sq-ft of pool surface)	x	0.02 sf	=
Theater	x	0.0012 seat	=
Zero Water Urinal	x	no value	=
PROPOSED Quantity	TOTAL		=

Use/AF

I certify, under penalty of perjury, that the information provided on this Water Release Form & Permit Application is to my knowledge correct, and the information accurately reflects the changes presently planned for this property.

Signature of Owner/Agent

Date

AUTHORIZATION FOR WATER PERMIT – JURISDICTION USE ONLY

AF Paralta Allocation AF Public Credits AF Pre-Paralta Credits WDS (Private Well) No water needed

Notes:

Authorized by:

Date:

This form expires on the same date as any discretionary or building permits issued for this Project by the Jurisdiction.

WHITE - MPWMD

YELLOW - APPLICANT

PINK - LOCAL JURISDICTION

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UNIT 'C'

MONTEREY PENINSULA WATER MANAGEMENT DISTRICT
RESIDENTIAL WATER RELEASE FORM AND WATER PERMIT APPLICATION

NOTE: When approved and signed by the jurisdictions, this form must be submitted with final and complete Construction Plans to:
Monterey Peninsula Water Management District Permit Office

5 Harris Court, Bldg. G ♦ Monterey, CA 93940 ♦ (831) 658-5601 ♦ www.mpwmd.net ♦ Fax (831) 644-9558
Completing the Water Release Form & Water Permit Application does not guarantee issuance of a Water Permit.

ALL SPACES BELOW MUST BE COMPLETED OR THE APPLICATION MAY NOT BE PROCESSED. (Please print firmly)

1. OWNERSHIP INFORMATION:

Name: MATT TANZI Name: HENRY RYHNKE
Daytime telephone: (408) 218-5809 Daytime telephone: (831) 649. 4623
Mailing Address: 6711 MT. LENEVE Mailing Address: 2340 GARDEN RD #100
SAN JOSE, CA 95120 MONTEREY, CA 93940

3. PROPERTY INFORMATION:

What year was the house constructed? Existing Square-footage 1,347 Proposed Square-footage
Address: 10025 LIGHTHOUSE AVE Assessor Parcel Number 006 - 361 - 023
Is a water meter needed? (Circle one) YES NO If yes, how many meters are requested?
Water company serving parcel: Account Number:

NOTE: Separate water meters are required for each User. Residential uses require separate meters for all auxiliary housing that includes a kitchen.

4. PROJECT DESCRIPTION (Be thorough and detailed): CONVERSION OF MOTEL UNIT INTO
A NEW SINGLE FAMILY RESIDENCE ON NEW LOT.

5. INSTRUCTIONS: Table #1 should list the fixtures on the property as they exist before the project. Table #2 should reflect all fixtures on the property after the project is completed. Only one Master Bathroom can be designated per dwelling unit.

Table No. 1 Existing Property Fixture Count
(All fixtures before project)

Type of Fixture	Fixture	Value	Count
Washbasin	x 1.0	=	
Two Washbasins in the Master Bathroom*	x 1.0	=	
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	x 1.8	=	
Toilet, High Efficiency (HET)*	x 1.3	=	
Toilet, Ultra High Efficiency (UHET)*	x 0.8	=	
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)	x 0.5	=	
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)	x 0.5	=	
Zero Water Consumption Urinal*	x 0.0	=	
Masterbath (one per Dwelling): Tub & Separate Shower*	x 3.0	=	
Large Bathtub (may have Showerhead above)	x 3.0	=	
Standard Bathtub or Shower Stall (one showerhead)	x 2.0	=	
Shower, each additional fixture (heads, body spray)	x 2.0	=	
Shower system, Rain Bars or Custom Shower (specs)	x 2.0	=	
Kitchen Sink (with optional Dishwasher)	x 1.5	=	
Kitchen Sink with High Efficiency Dishwasher*	x 2.0	=	
Dishwasher, each additional (with optional sink)	x 2.0	=	
Dishwasher, High Efficiency (with opt. sink)*	x 1.5	=	
Laundry Sink/Utility Sink (one per Site)	x 2.0	=	
Clothes Washer	x 2.0	=	
Clothes Washer, (HEW) 5.0 water factor or less*	x 1.0	=	
Bidet	x 2.0	=	
Bar Sink	x 1.0	=	
Entertainment Sink	x 1.0	=	
Vegetable Sink	x 1.0	=	
Swimming Pool (each 100 sq-ft of pool surface)	x 1.0	=	
Other	x	=	
Other	x	=	
Other	x	=	

• Use this fixture count if a previous Permit was issued under Ordinance 80 to utilize the Master Bathroom Credit. (Tub may be large.) See District staff for more information.

EXISTING FIXTURE UNIT COUNT TOTAL =

Table No. 2 Post Project Fixture Count
(All fixtures after project)

Type of Fixture	Fixture	Value	Count
Washbasin	3	x 1.0	= 3
Two Washbasins in the Master Bathroom		x 1.0	=
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	3	x 1.8	= 5.4
Toilet, High Efficiency (HET)*		x 1.3	=
Toilet, Ultra High Efficiency (UHET)*		x 0.8	=
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)		x 0.5	=
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)		x 0.5	=
Zero Water Consumption Urinal*		x 0.0	=
Masterbath (one per Dwelling): Tub & Separate Shower		x 3.0	=
Large Bathtub (may have Showerhead above)		x 3.0	=
Standard Bathtub or Shower Stall (one showerhead)	2	x 2.0	= 4
Shower, each additional fixture (heads, body spray)		x 2.0	=
Shower system, Rain Bars or Custom Shower (specs)		x 2.0	=
Kitchen Sink (optional dishwasher)	1	x 1.5	= 2
Kitchen Sink with High Efficiency Dishwasher*		x 2.0	=
Dishwasher, each additional (optional sink)		x 2.0	=
Dishwasher, High Efficiency (with opt. sink)*		x 1.5	=
Laundry Sink/Utility Sink (one per Site)	1	x 2.0	= 2
Clothes Washer		x 2.0	=
Clothes Washer, (HEW) 5.0 water factor or less*		x 1.0	=
Bidet		x 2.0	=
Bar Sink		x 1.0	=
Entertainment Sink		x 1.0	=
Vegetable Sink		x 1.0	=
Instant-Access-Hot-Water System (fixture credit)		x 1.0	=
New Connection - Refer to District Rule 24-A5		x	=
"Exterior Residential Water Demand Calculations"		x	=
Subtotal proposed fixtures			
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0	=

PROPOSED FIXTURE UNIT COUNT TOTAL = 16.4
16.4 x .01 = .164 AF

*DEED RESTRICTION REQUIRED WHEN CREDIT IS APPLIED FOR "HE" APPLIANCES- EXPECT PERMIT PROCESS TO TAKE THREE WEEKS

In completing the Water Release Form, the undersigned acknowledges that any discrepancy or mistake may cause rejection or delay in processing of the application. Additionally, the undersigned is responsible for accurately accounting for all water fixtures. If the fixture unit count changes without notification to the District, or if a difference in fixtures is documented upon official inspection, Water Permits for the property may be canceled. In addition, water fixtures installed without a Water Permit may be cause for interruption of the water service to the Site, additional fees and penalties, the imposition of a lien on the property, and deduction of water from the local Jurisdiction's Allocation. The property owner/Applicant is required to notify the District and provide Construction Plans as appropriate for each change in the Project made prior to use or occupancy that may affect the Project's Capacity to use water.

6. I certify, under penalty of perjury, that the information provided on this Water Release Form & Water Permit Application is to my knowledge correct, and the information accurately reflects water use presently planned for this property.

Signature of Owner/Agent Date Location Where Signed
Print Name File or Plan Check Number

AUTHORIZATION FOR WATER PERMIT - JURISDICTION USE ONLY

AF Paralta Allocation AF Public Credits AF Second Bathroom Protocol

AF Pre-Paralta Credits WDS (Private Well) Water Entitlement No water needed

Notes: Authorized by: Date: Item 8a

This form expires one year from date of authorization for this project by the jurisdiction.

White copy-MPWMD

Yellow copy-applicant

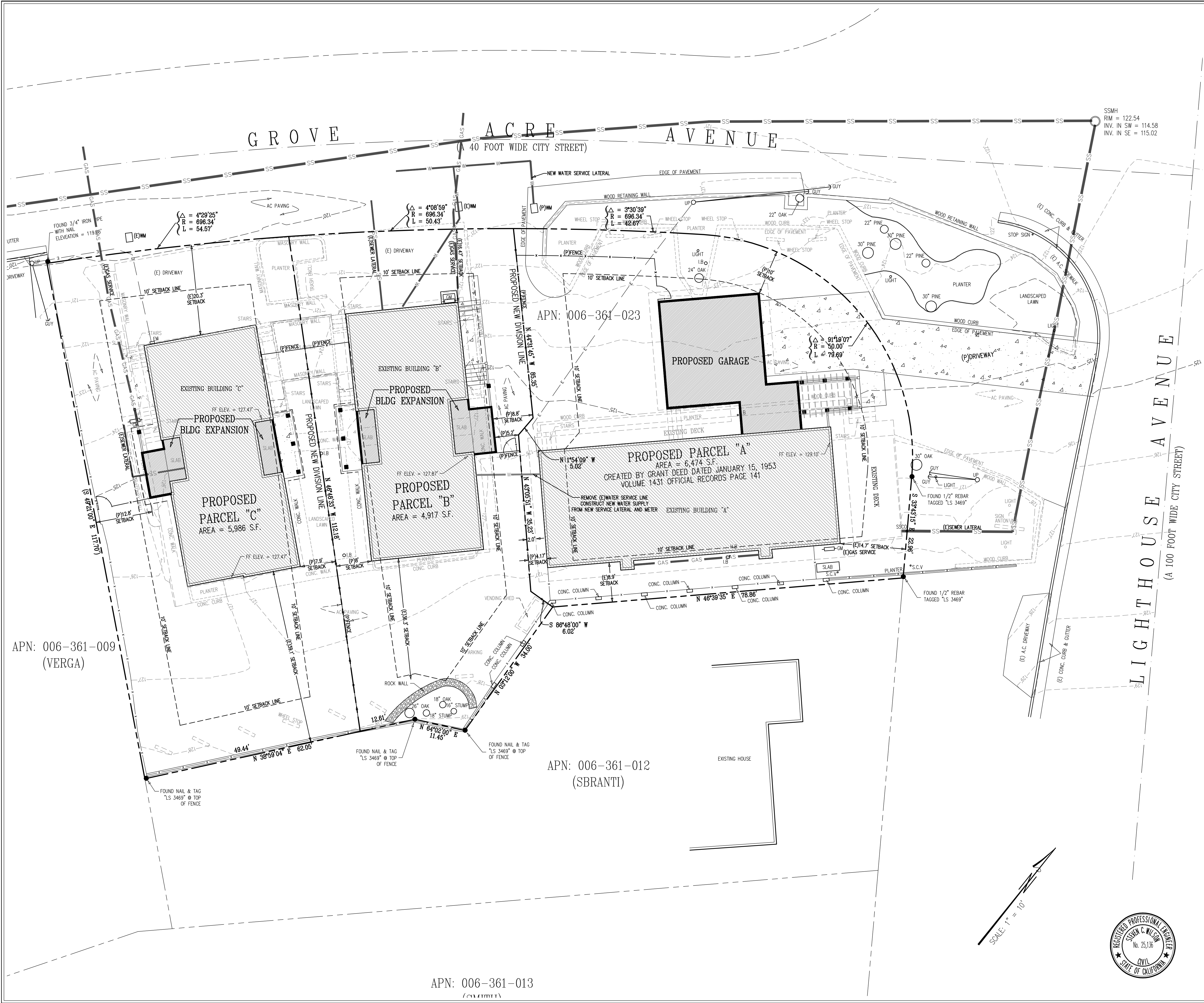
Pink copy-jurisdiction



RESIDENTIAL UNITS

1095 LIGHTHOUSE AVE.
PACIFIC GROVE, CA 93950

[illegible]



PROJECT LOCATION

PACIFIC OCEAN

PACIFIC GROVE

DAVID LANE

LIGHTHOUSE AVENUE

VICINITY MAP

NOT TO SCALE

SUBDIVIDER'S STATEMENT

1. SUBDIVIDER:	MATT TANZI 6711 MOUNT LENEVE DR. SAN JOSE, CA 95120 (408) 218-5809 VOICE
2. OWNER:	MATT TANZI 6711 MOUNT LENEVE DR. SAN JOSE, CA 95120 (408) 218-5809 VOICE
3. ENGINEER & SURVEYOR:	STEVEN C. WILSON, RCE 25,136 PLS 5,207 MONTEREY BAY ENGINEERS, INC. 607 CHARLES AVE. SUITE B SEASIDE, CA 93955 (831) 899-7899 VOICE
4. PROPERTY LOCATION:	1095 LIGHTHOUSE AVENUE PACIFIC GROVE, CA 93950 ASSESSOR'S PARCEL: 006-361-023
5. LEGAL DESCRIPTION:	A PORTION OF LOT 1, BLOCK 313 VOLUME 3, CITIES & TOWNS PAGE 13
6. PRESENT ZONING:	R-3-M
7. PROPOSED ZONING:	R-3-M
8. EXISTING USE:	MOTEL
9. PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
10. TOTAL LAND AREA	GROSS = 17,378 SQ. FT. = 0.40 ACRES
11. TOTAL NUMBER OF EXISTING PARCELS	1
12. TOTAL NUMBER OF PROPOSED PARCELS	3
13. EXISTING AND PROPOSED UTILITY SUPPLIERS:	ELECTRICITY: P. G. & E. GAS: P. G. & E. CATV: COMCAST CABLE WATER: CAL. WATER SERVICE SEWER: MONTEREY REGIONAL WATER POLLUTION CONTROL AGENCY
14. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.	
15. SITE INFORMATION SHOWN HEREON IS TAKEN FROM A TOPOGRAPHIC SURVEY COMPLETED IN APRIL, 2003. SITE CONDITIONS WERE VERIFIED AND UPDATED IN JULY 2014. FIELD SURVEYS COMPLETED BY MONTEREY BAY ENGINEERS, INC.	
16. THE PROPOSED PROJECT IS IN AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.	
17. CONTOUR INTERVAL = ONE FOOT	
18. DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.	
19. TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES.	
20. ELEVATIONS SHOWN ARE BASED ON NGVD-29 (MEAN SEA LEVEL DATUM) BENCHMARK: IS A SQUARE ON CURB LOCATED AT THE SOUTH END OF THE SOUTHWESTERLY CURB RETURN AT THE INTERSECTION OF GROVE ACRE AVENUE AND LIGHTHOUSE AVENUE. ELEVATION = 121.44'	
21. — x — DENOTES WOOD FENCE (UNLESS OTHERWISE NOTED)	
22. UNDERGROUND UTILITIES LOCATED BY CRUZ BROTHERS LOCATORS, INC.	

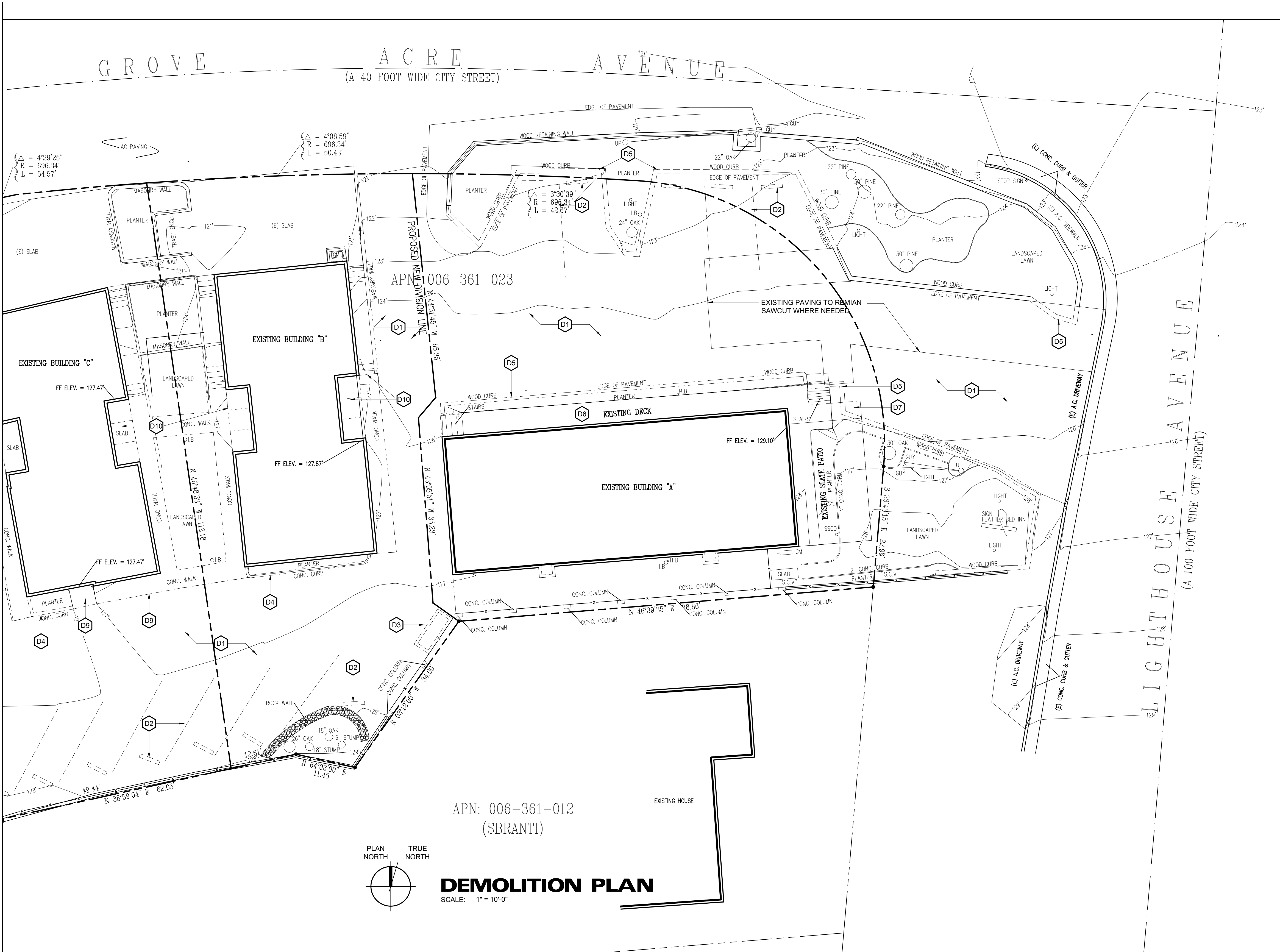
LEGEND:

A.C.	ASPHALTIC CONCRETE	IB	IRRIGATION BOX
CONC.	CONCRETE	(P)	PROPOSED
(E)	EXISTING	S.C.V	SPRINKLER CONTROL VALVE
EM	ELECTRIC METER	SSCO	SANITARY SEWER CLEANOUT
FF	FINISH FLOOR	SSMH	SANITARY SEWER MANHOLE
FH	FIRE HYDRANT	UP	UTILITY POLE
GM	GAS METER	WM	WATER METER
HB	HOSEBIB	WV	WATER VALVE

REVISIONS		TENTATIVE MAP	
DATE	BY	MINOR SUBDIVISION	
		1095 LIGHTHOUSE AVENUE	
		A PORTION OF LOT 1, BLOCK 313, PACIFIC GROVE ACRES	
		FILED IN VOLUME 3, CITIES & TOWNS, PAGE 13	
		ASSESSOR'S PARCEL No. 006-361-023	
		CITY OF PACIFIC GROVE COUNTY OF MONTEREY STATE OF CALIFORNIA	
		PREPARED FOR	
		MATT TANZI	
		BY	
		MONTEREY BAY ENGINEERS, INC.	
		CIVIL ENGINEERING SUBDIVISIONS LAND SURVEYING CONSTRUCTION STAKING	
		607 CHARLES AVE. SUITE B (831) 899-7899 SEASIDE, CALIFORNIA 93955	
SCALE	1" = 10'	DATE	AUGUST 2014
		DRAWN BY	TDM
		SHEET	1 OF 1
JOB No. 14-013			

SCALE: 1" = 10'

REGISTERED PROFESSIONAL ENGINEER
STEVEN C. WILSON
No. 25,136
CIVIL
STATE OF CALIFORNIA



DEMOLITION KEY NOTES		DEMOLITION GENERAL NOTES
THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.		1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. 2. PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE.
D1	REMOVE EXISTING AC PAVING.	
D2	REMOVE PARKING STRIPES / WHEEL STOPS.	
D3	REMOVE EXISTING VENDING SHEDS.	
D4	REMOVE EXISTING CONCRETE CURB.	
D5	REMOVE EXISTING WOOD CURB.	
D6	REMOVE EXISTING DECK / STAIRS.	
D7	REMOVE PORTIONS OF EXISTING SLATE PATIO.	
D8	REMOVE EXISTING CONCRETE RAMP.	
D9	REMOVE EXISTING CONCRETE WALK.	
D10	REMOVE CONCRETE SLAP.	

Item 8a

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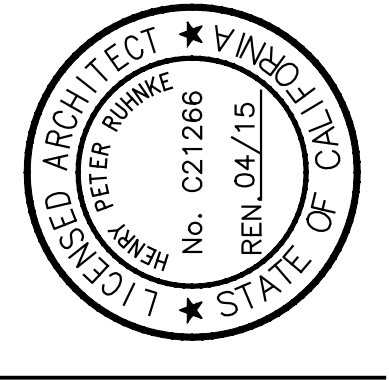
WR&D

WALD RUHNKE & DOST
ARCHITECTS LLP

2340 GARDEN ROAD, SUITE 100
MONTEREY, CALIFORNIA 93940

PHONE: 831.649.4642
FAX: 831.649.3530
WWW.WRDARCH.COM

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APN: 003-361-023

RESIDENTIAL UNITS
1095 LIGHTHOUSE AVE

MATT TANZI
6711 MT LENEVE
SAN JOSE, CA 95120

JOB NO.:
14049

PRINT DATE:
PLOT DATE: 8.21.2014

DRAWN BY: ED
CHECKED BY: PS

SET ISSUED:

08/21/14 PLANNING SUB.

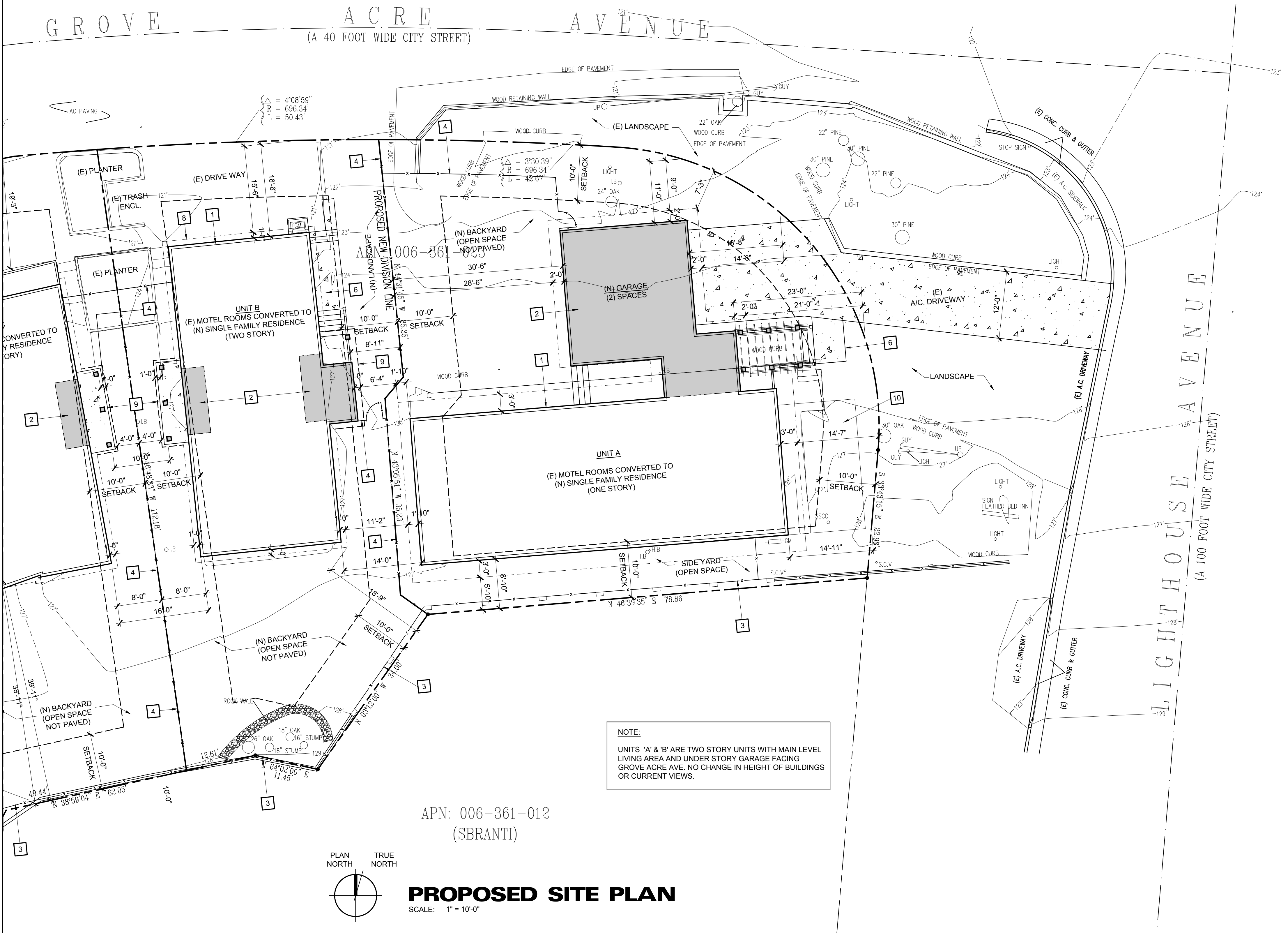
SHEET NAME:

DEMOLITION
PLAN

SHEET NO.:

D100

FILE NAME: 14049-D100



APN: 006-361-012
(SBRANTI)

PROPOSED SITE PLAN
SCALE: 1" = 10'-0"

KEY NOTES

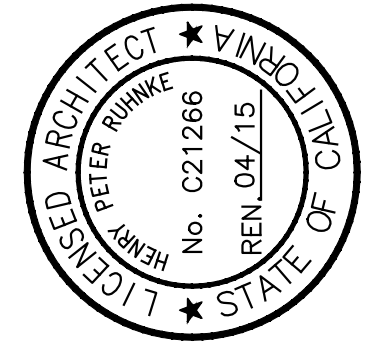
- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- | | | | |
|---|---|----|----------------------------|
| 1 | EXISTING BUILDINGS | 10 | EXISTING SLATE PATIO AREA. |
| 2 | ADDITION TO EXISTING BUILDING | | |
| 3 | EXISTING TYP. 6'-0" REDWOOD FENCE WHERE SHOWN ON PROPERTY | | |
| 4 | NEW REDWOOD FENCE NOT TO EXCEED 6'-0" | | |
| 5 | NEW GAS METER | | |
| 6 | NEW CONC. WALK | | |
| 7 | NEW 3' WIDE REDWOOD GATE | | |
| 8 | EXISTING EAVE | | |
| 9 | NEW EAVE | | |

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.

Item 8a
50
WR&D
WALD RUHNKE & DOST ARCHITECTS LLP
2340 GARDEN ROAD, SUITE 100
MONTEREY, CALIFORNIA 93940
PHONE: 831.649.4642
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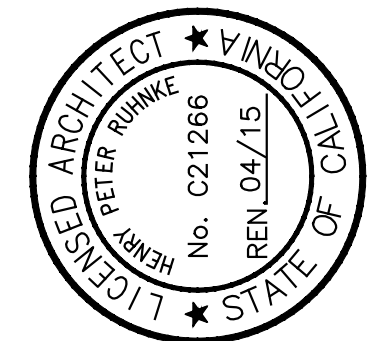
RESIDENTIAL UNITS
1095 LIGHTHOUSE AVE
APN: 003-361-023

MATT TANZI
6711 MT LENEVE
SAN JOSE, CA 95120

JOB NO.:
14049
PRINT DATE:
PLOT DATE: 8.21.2014
DRAWN BY: ED
CHECKED BY: PS
SET ISSUED:

08/21/14 PLANNING SUB.
SHEET NAME:

SITE PLAN
SHEET NO.:
A100
FILE NAME: 14049-A100



APN: 003-361-023

RESIDENTIAL UNITS
1095 LIGHTHOUSE AVE

MATT TANZI
6711 MT LENEVE
SAN JOSE, CA 95120

JOB NO.:

14049

PRINT DATE:

PLOT DATE: 8.21.2014

DRAWN BY: ED

CHECKED BY: PS

SET ISSUED:

08/21/14 PLANNING SUB.

SHEET NAME:

BUILDING 'A'
FLOOR PLAN/
DEMO. PLAN

SHEET NO.:

A201

FILE NAME: 14049-A201

DEMOLITION GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.
2. PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE.

DEMOLITION NOTES

THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- D1 REMOVE EXISTING GUARDRAIL.
- D2 REMOVE EXISTING WALLS AS SHOWN ON PLAN.
- D3 REMOVE EXISTING DOOR.
- D4 REMOVE EXISTING FIRE PLACE, CLOSET, & ENTERTAINMENT CABS.
- D5 REMOVE EXISTING CABINET.
- D6 REMOVE EXISTING PLUMBING FIXTURES.
- D7 REMOVE EXISTING STAIRS.
- D8 REMOVE EXISTING WINDOW.

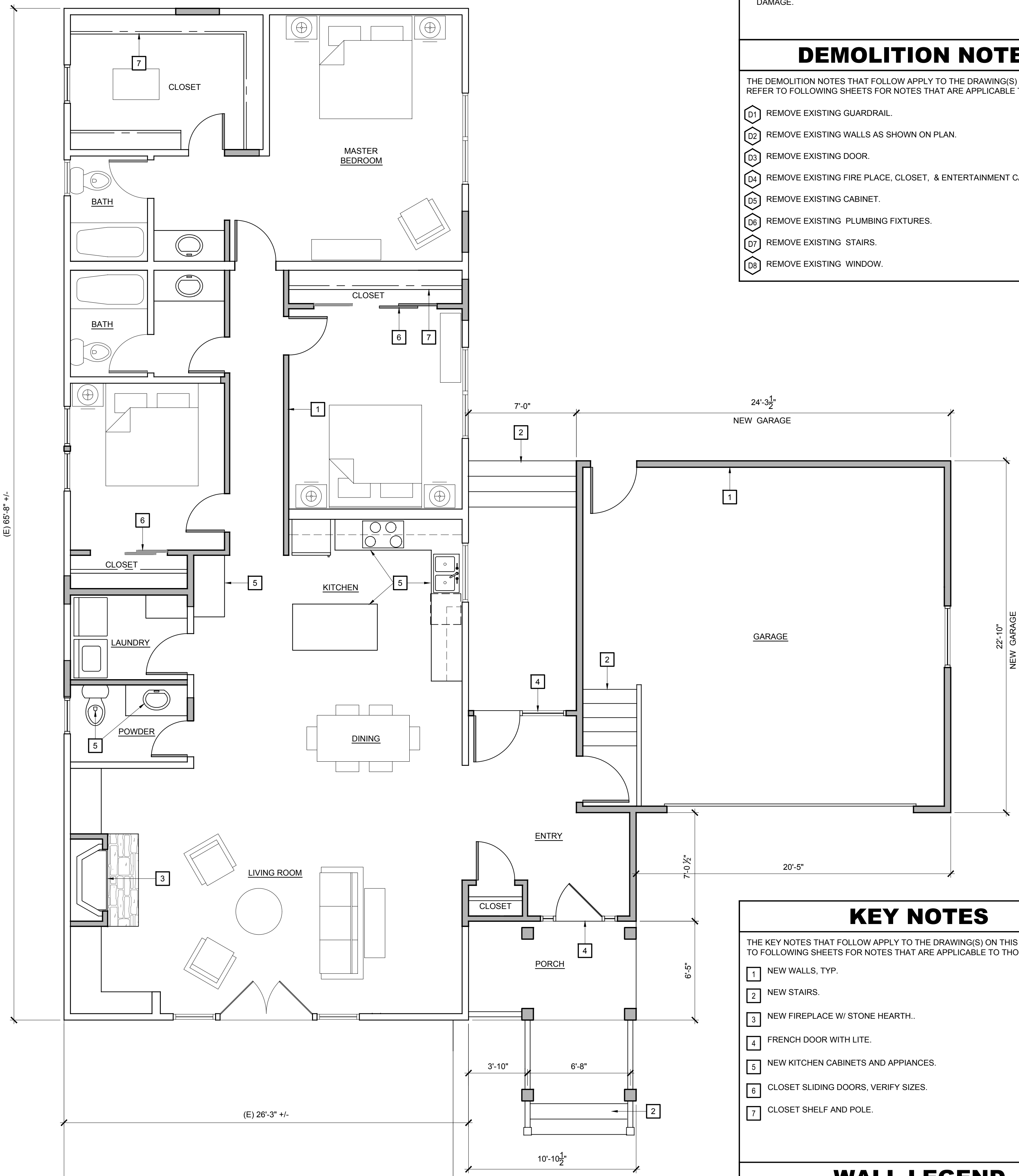
KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

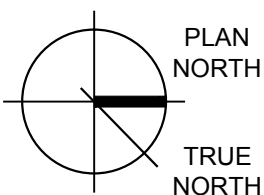
- 1 NEW WALLS, TYP.
- 2 NEW STAIRS.
- 3 NEW FIREPLACE W/ STONE HEARTH..
- 4 FRENCH DOOR WITH LITE.
- 5 NEW KITCHEN CABINETS AND APPIANCES.
- 6 CLOSET SLIDING DOORS, VERIFY SIZES.
- 7 CLOSET SHELF AND POLE.

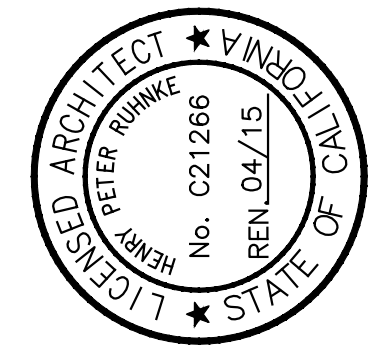
WALL LEGEND

- NEW WALLS.
- EXISTING WALLS TO REMAIN.
- WALLS TO BE DEMOLISHED.
- WALLS TO BE DEMOLISHED AND REBUILT.



BUILDING 'A'
PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"





APN: 003-361-023

RESIDENTIAL UNITS
1095 LIGHTHOUSE AVE

MATT TANZI
6711 MT LENEVE
SAN JOSE, CA 95120

JOB NO.:

14049

PRINT DATE:

PLOT DATE: 8.21.2014

DRAWN BY: ED

CHECKED BY: PS

SET ISSUED:

08/21/14 PLANNING SUB.

SHEET NAME:

BUILDINGS 'B'
FLOOR PLAN/
DEMO. PLAN

SHEET NO.:

A202

FILE NAME: 14049-A202

DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.
- PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE.

DEMOLITION NOTES

THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- D1 REMOVE EXISTING GUARDRAIL.
- D2 REMOVE EXISTING WALLS AS SHOWN ON PLAN.
- D3 REMOVE EXISTING DOOR.
- D4 REMOVE EXISTING FIRE PLACE, CLOSET, & ENTERTAINMENT CABS.
- D5 REMOVE EXISTING CABINET.
- D6 REMOVE EXISTING PLUMBING FIXTURES.
- D7 REMOVE EXISTING WINDOW.
- D8 RELOCATE EXISTING ELEC. PANEL.

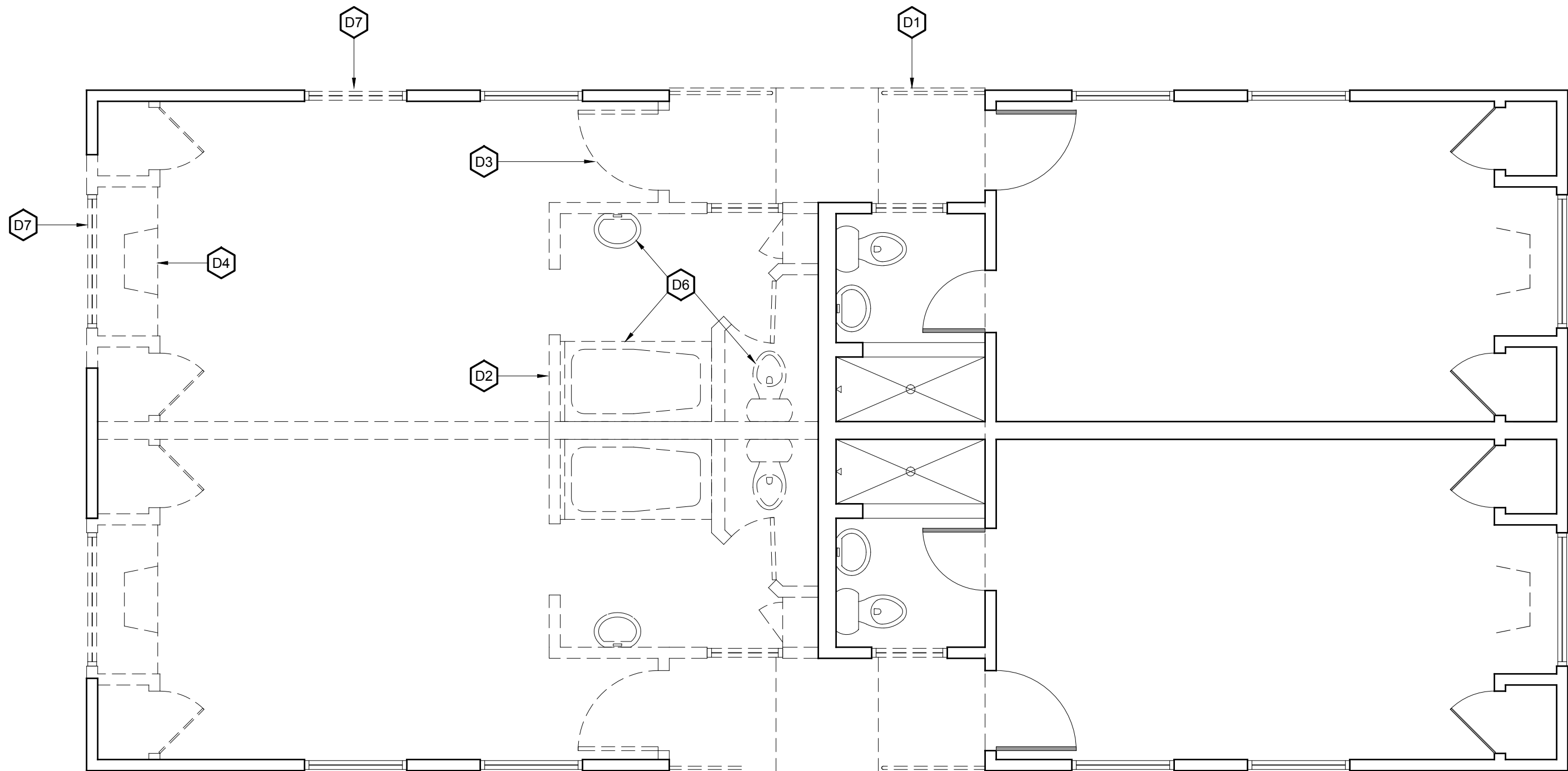
KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 NEW WALLS, TYP.
- 2 NEW STAIRS.
- 3 NEW FRENCH DOORS.
- 4 NEW KITCHEN CABINETS .
- 5 STACKABLE WASHER/DRYER.
- 6 CLOSET SHELF AND POLE.
- 7 NEW GARAGE DOOR.
- 8 NEW PLUMBING FIXTURES.
- 9 NEW FRENCH DOOR W/ LITE.
- 10 RELOCATED ELEC. PANEL.

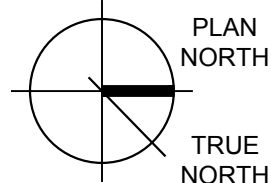
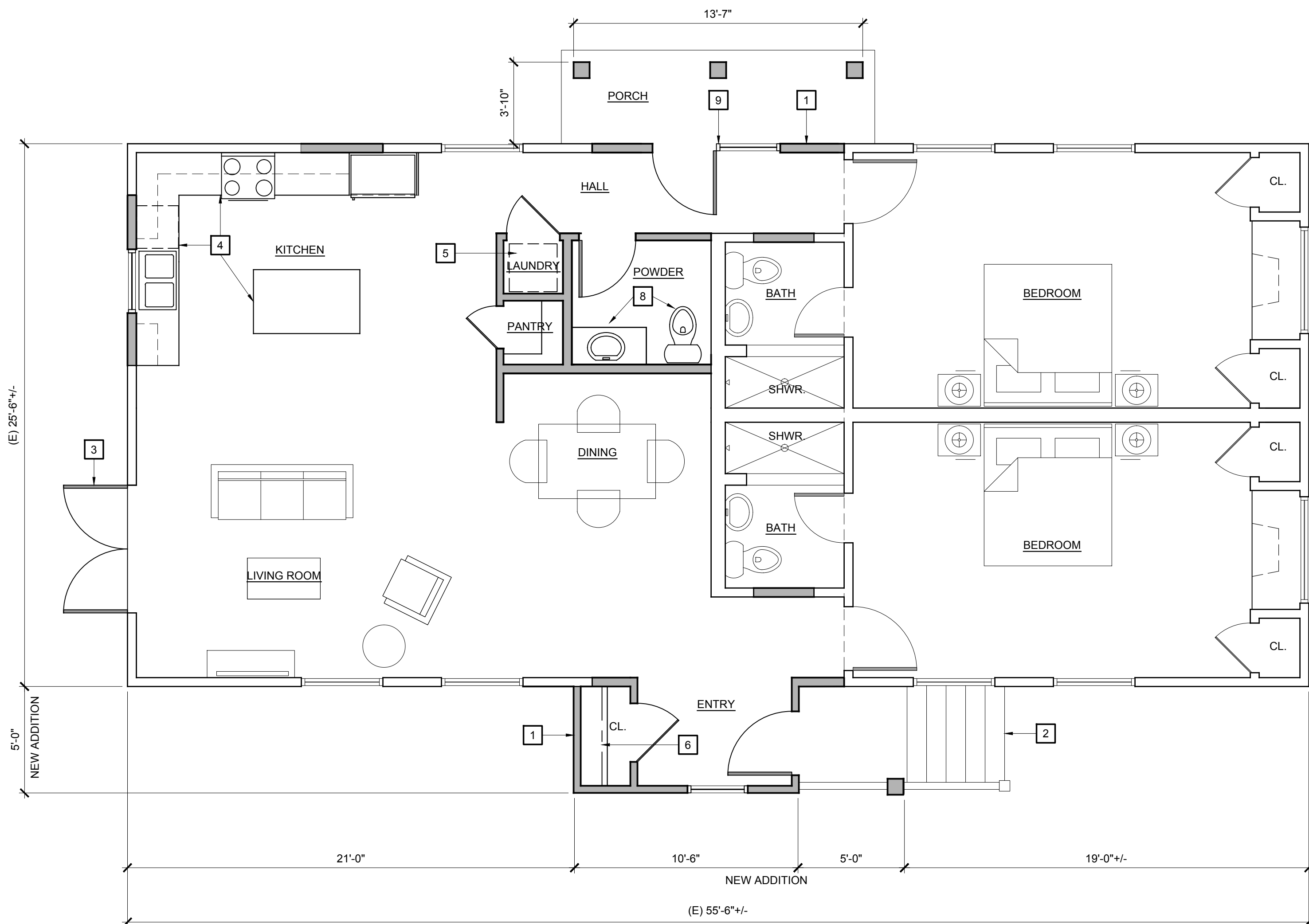
LEGEND

- NEW WALLS.
- EXISTING WALLS TO REMAIN.
- WALLS TO BE DEMOLISHED.
- WALLS TO BE DEMOLISHED AND REBUILT.
- AREA NOT COUNTED TOWARDS GROSS FLOOR AREA.



DEMOLITION KEYNOTES - TYPICAL FOR BOTH UNITS

DEMOLITION PLAN



A

**BUILDING 'B'
PROPOSED FLOOR PLAN**
SCALE: 1/4" = 1'-0"



APN: 003-361-023

RESIDENTIAL UNITS
1095 LIGHTHOUSE AVE

MATT TANZI
6711 MT LENEVE
SAN JOSE, CA 95120

JOB NO.:

14049

PRINT DATE:

PLOT DATE: 8.21.2014

DRAWN BY: ED

CHECKED BY: PS

SET ISSUED:

08/21/14 PLANNING SUB.

SHEET NAME:

BUILDINGS 'C'
FLOOR PLAN/
DEMO. PLAN

SHEET NO.:

A203

FILE NAME: 14049-A203

DEMOLITION GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.
2. PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE.

DEMOLITION NOTES

THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- D1 REMOVE EXISTING GUARDRAIL, STEP AND RAMP WHERE OCCURS.
- D2 REMOVE EXISTING WALLS AS SHOWN ON PLAN.
- D3 REMOVE EXISTING DOOR.
- D4 REMOVE EXISTING FIRE PLACE, CLOSET, & ENTERTAINMENT CABS.
- D6 REMOVE EXISTING CABINET.
- D6 REMOVE EXISTING PLUMBING FIXTURES.
- D7 REMOVE EXISTING WINDOW.

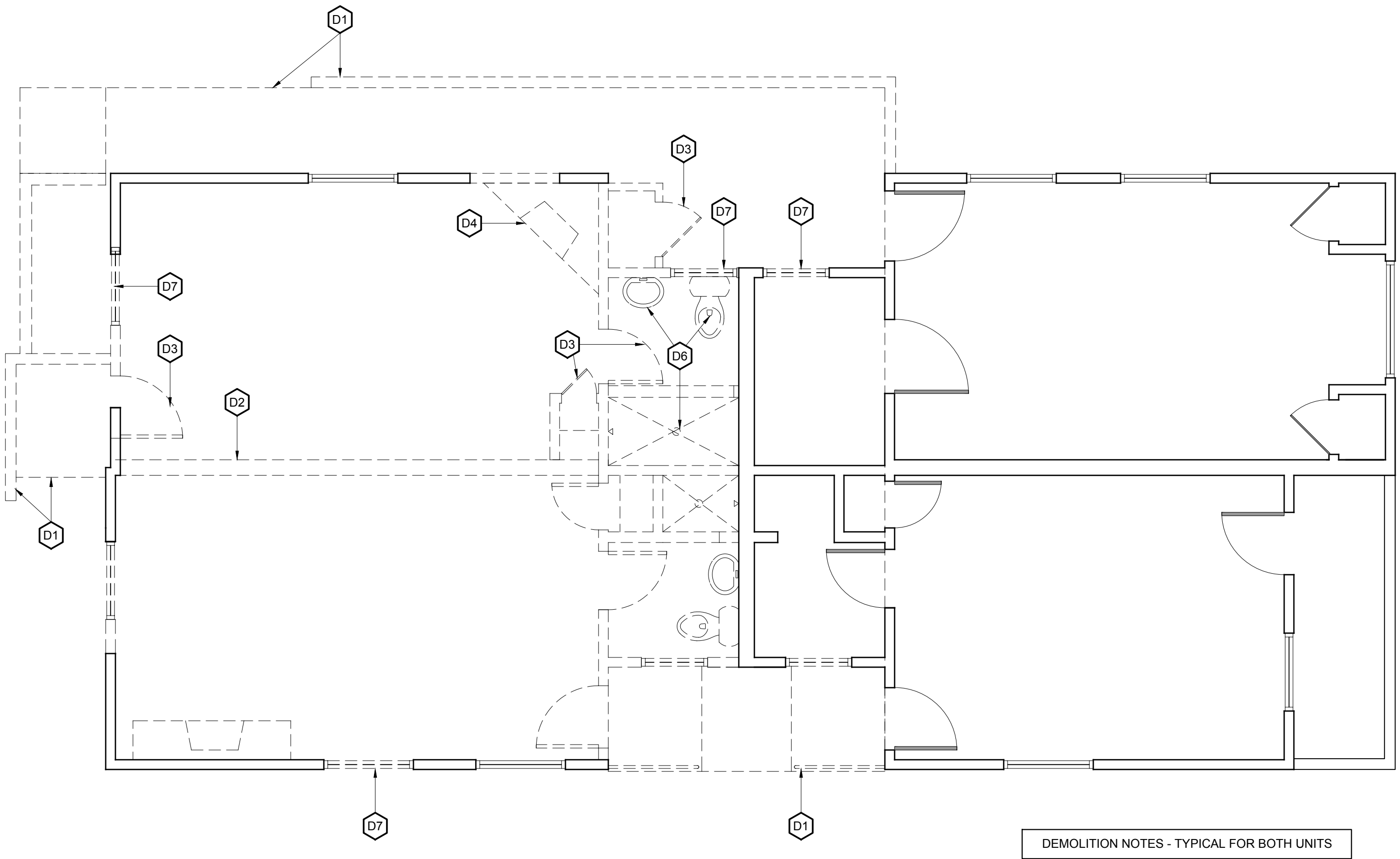
KEY NOTES

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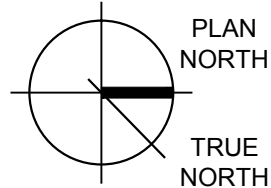
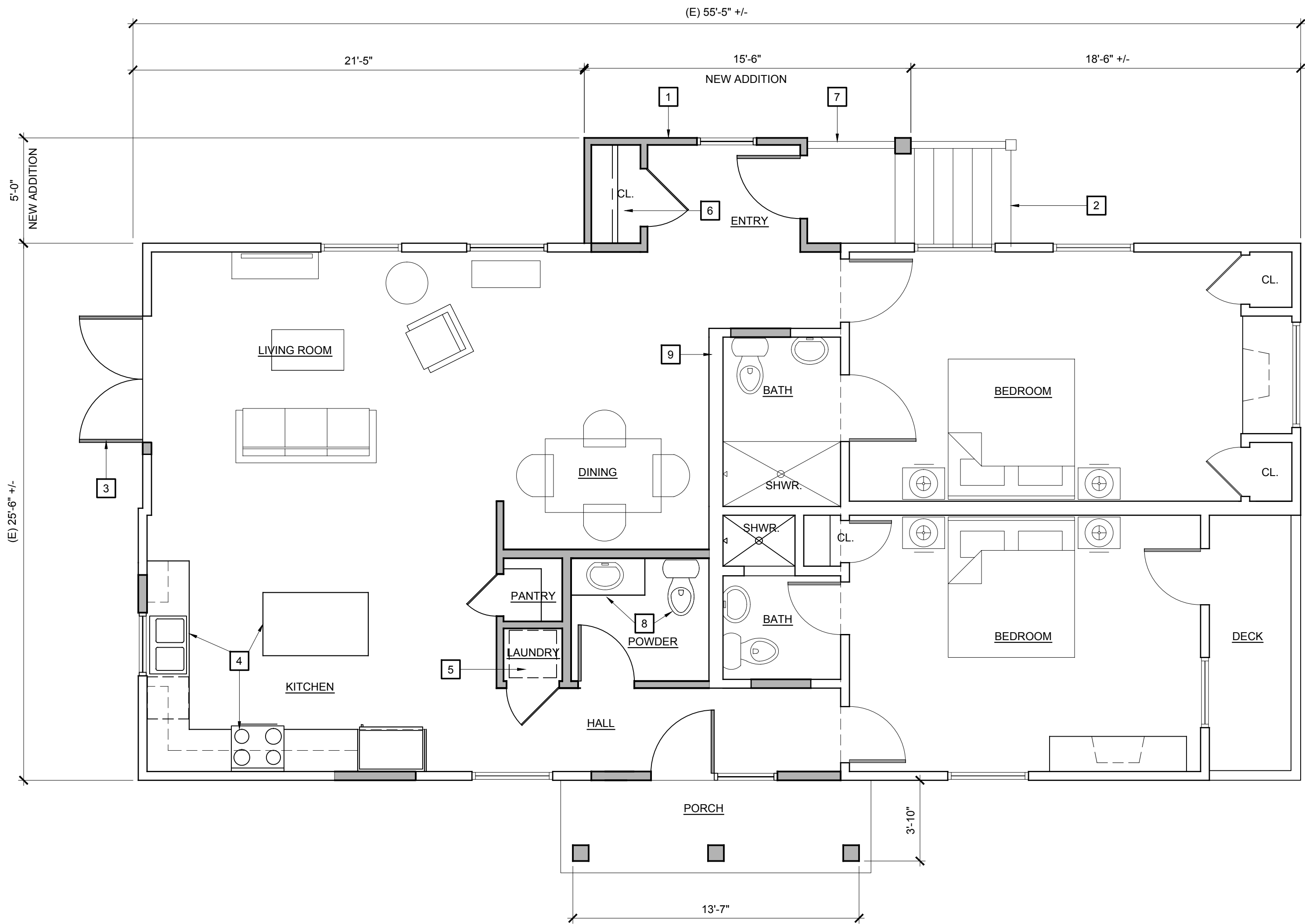
- 1 NEW WALLS, TYP.
- 2 NEW STAIRS.
- 3 NEW FRENCH DOORS.
- 4 NEW KITCHEN CABINETS.
- 5 STACKABLE WASHER/DRYER.
- 6 NEW CLOSET SHELF AND POLE.
- 7 NEW WOOD GUARDRAIL.
- 8 NEW PLUMBING FIXTURES.
- 9 NEW FURRING WHERE OCCURS.

LEGEND

- NEW WALLS.
- EXISTING WALLS TO REMAIN.
- WALLS TO BE DEMOLISHED.
- WALLS TO BE DEMOLISHED AND REBUILT.
- AREA NOT COUNTED TOWARDS GROSS FLOOR AREA.



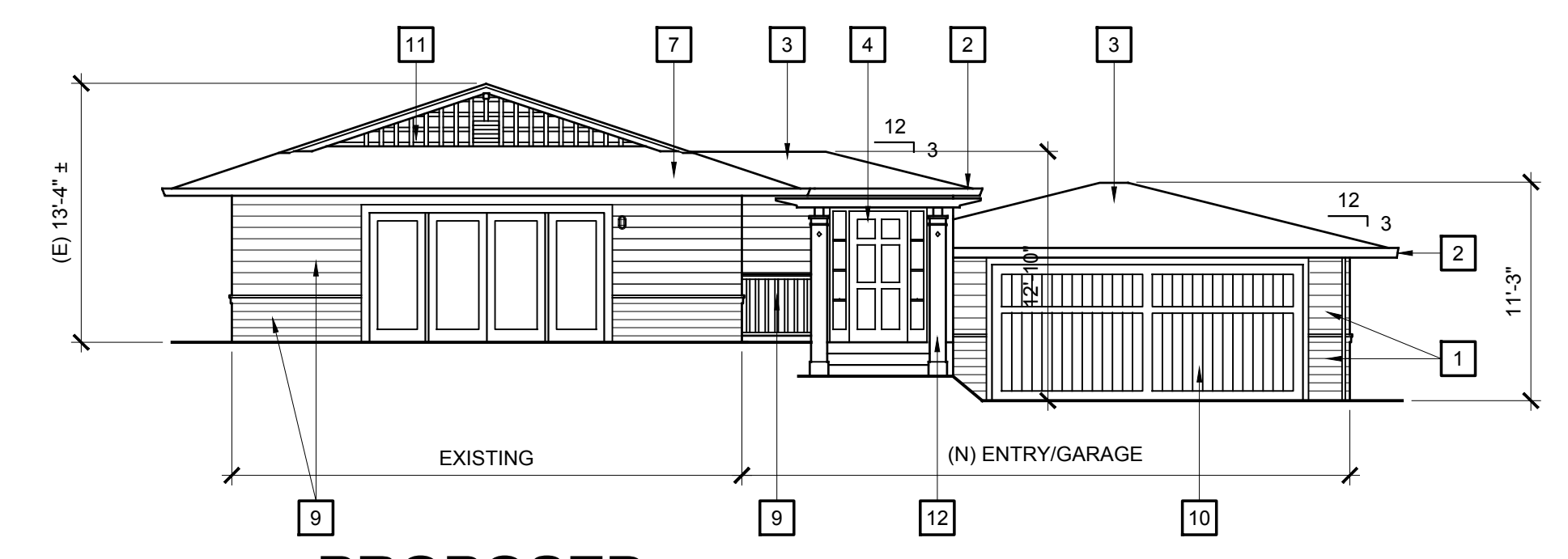
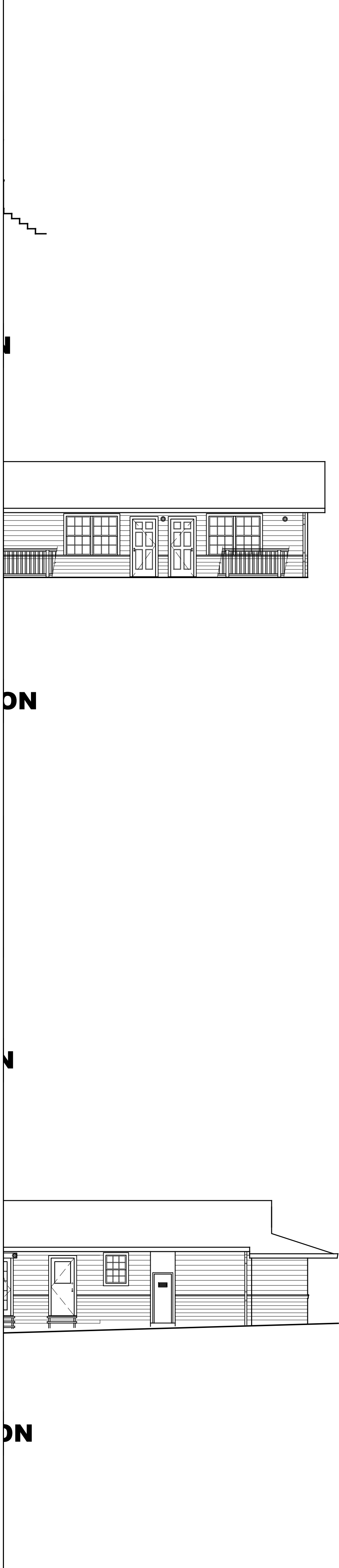
DEMOLITION PLAN



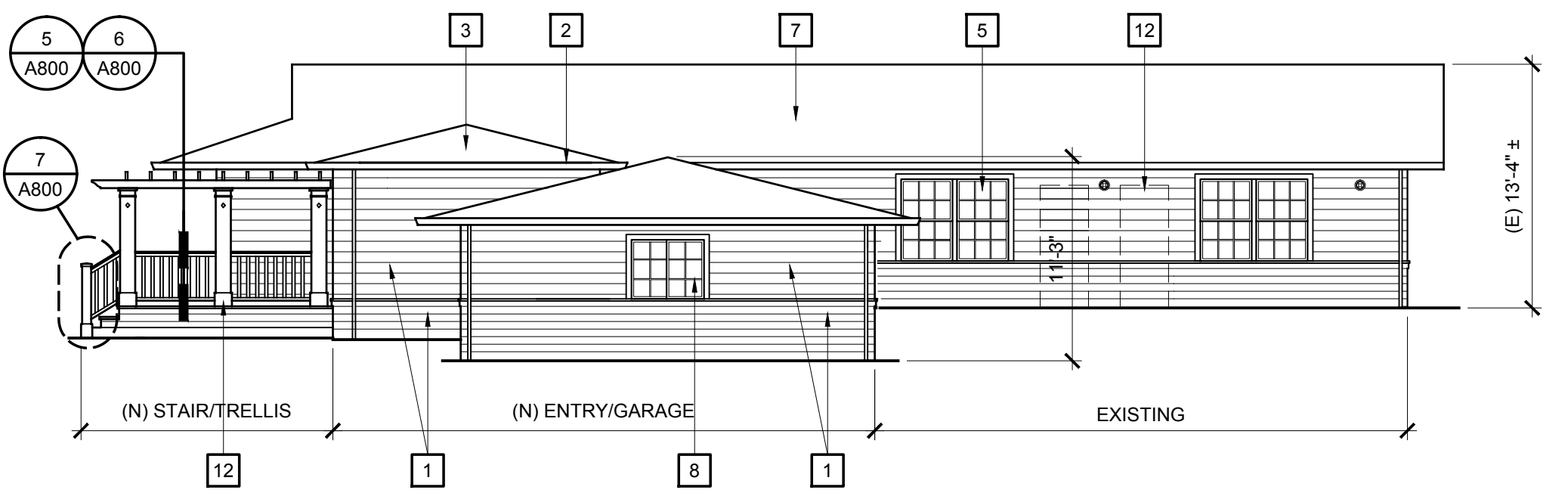
A

BUILDING 'C' PROPOSED FLOOR PLAN

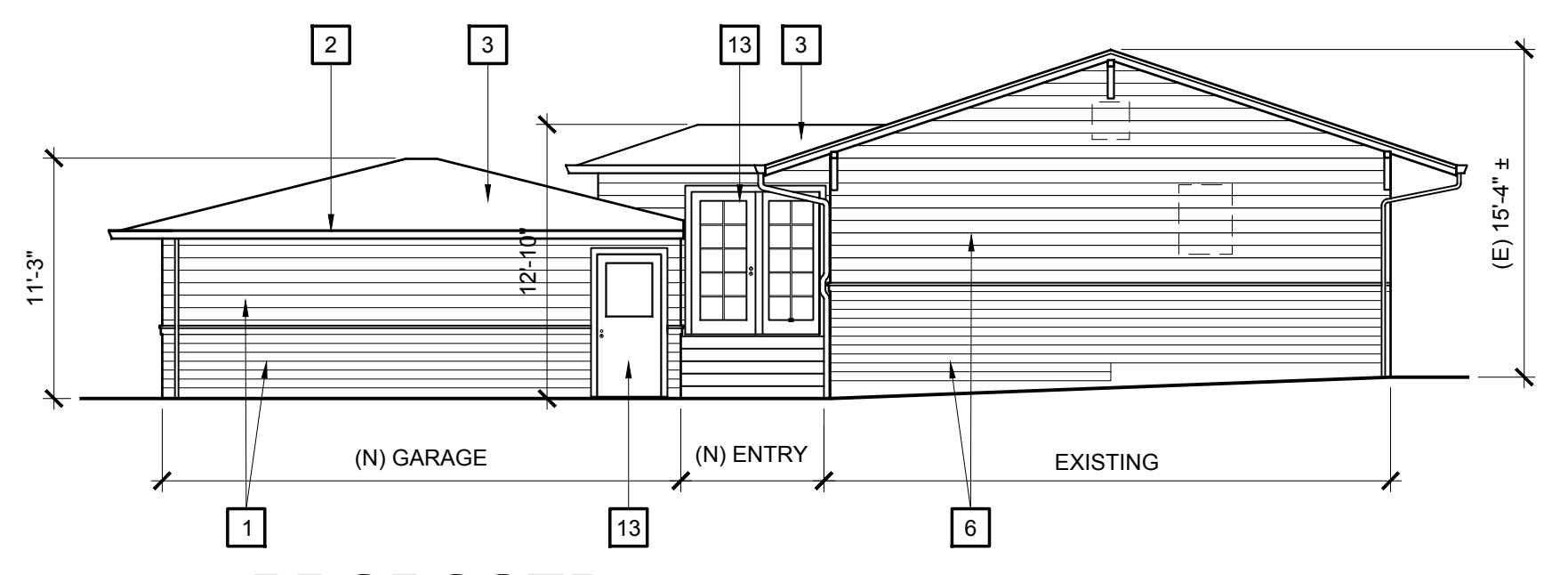
SCALE: 1/4" = 1'-0"



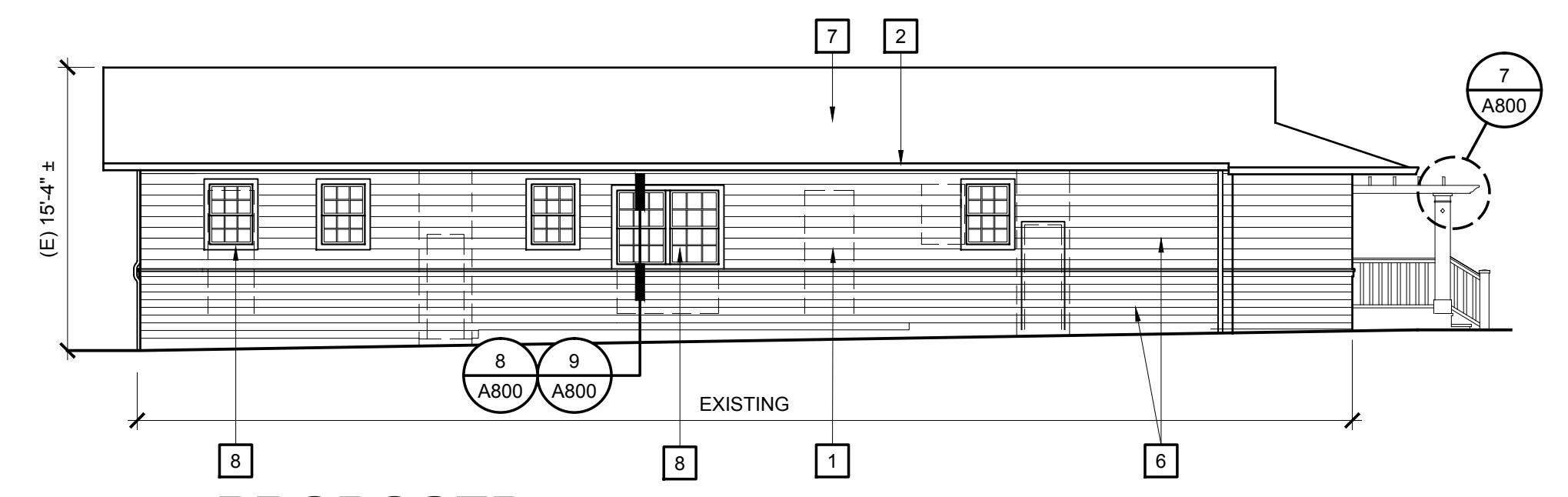
1
PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"



2
PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3
PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"



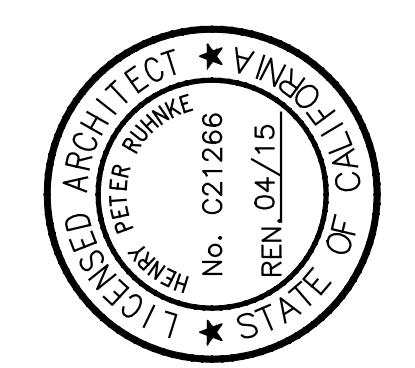
4
PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

KEY NOTES

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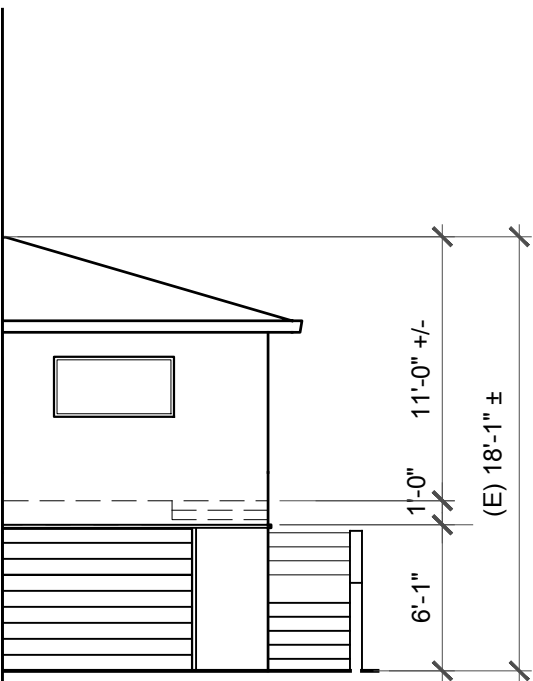
- 1 NEW WOOD SIDING TO MATCH EXISTING
- 2 NEW 4" OGEE GUTTER & 2" DIA. DOWNSPOUTS
- 3 NEW ASPHALT COMPOSITION ROOFING TO MATCH EXISTING
- 4 NEW ENTRY DOOR WITH SIDELIGHTS
- 5 EXISTING VINYL WINDOW
- 6 EXISTING WOOD LAP SIDING
- 7 EXISTING ASPHALT COMPOSITION SHINGLES
- 8 NEW WINDOW TO MATCH EXISTING
- 9 NEW WOOD RAILING
- 10 NEW WOOD GARAGE DOOR
- 11 NEW WOOD LATTICE OVER EXIST. SIDING
- 12 NEW WOOD TRELLIS
- 13 NEW DOOR

Item 8a
50
WR&D
WALD RUHNKE & DOST ARCHITECTS LLP
2340 GARDEN ROAD, SUITE 100
MONTEREY, CALIFORNIA 93940
PHONE: 831.649.4642
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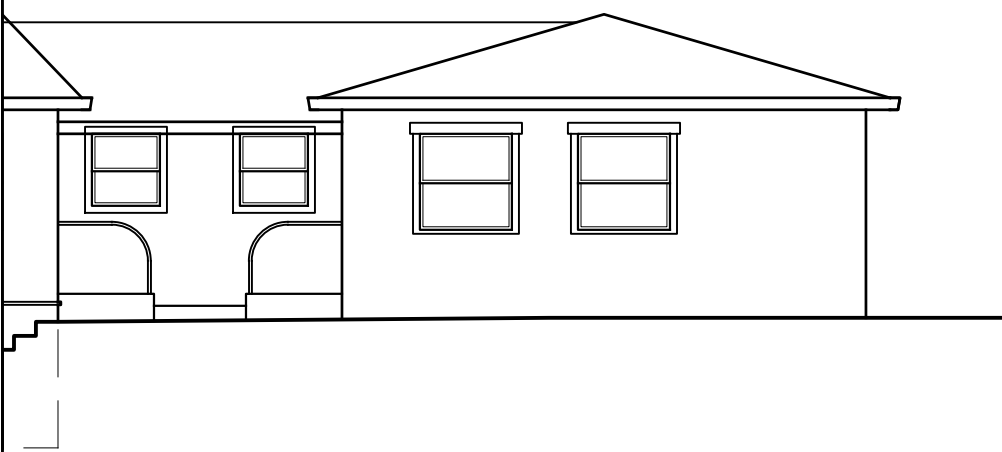


APN: 003-361-023
RESIDENTIAL UNITS
1095 LIGHTHOUSE AVE
MATT TANZI
6711 MT LENEVE
SAN JOSE, CA 95120

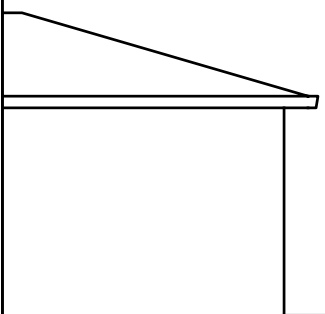
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14049
PRINT DATE:
PLOT DATE: 8.21.2014
DRAWN BY: ED
CHECKED BY: PS
SET ISSUED:
08/21/14 PLANNING SUB.
SHEET NAME:
BUILDING 'A'
EXTERIOR
ELEVATIONS
SHEET NO.:
A301
FILE NAME: 14049-A301



ELEVATION



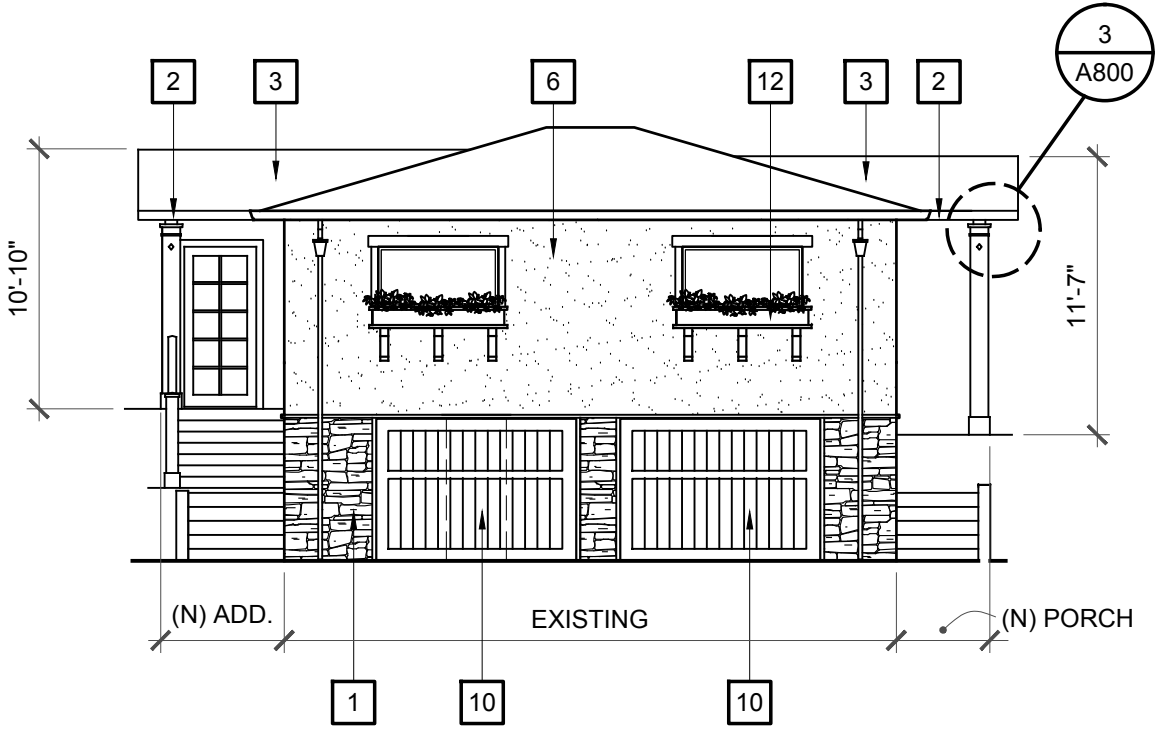
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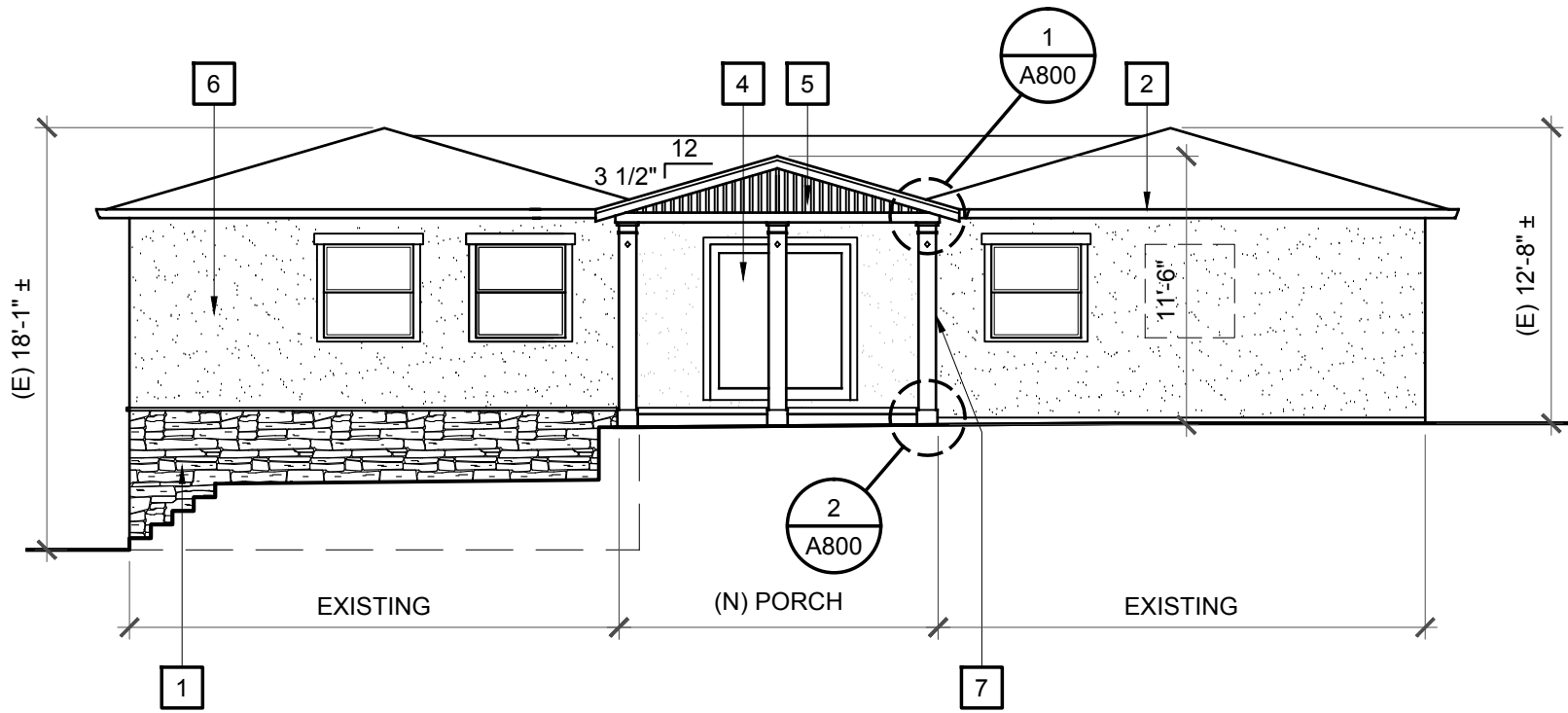
ELEVATION



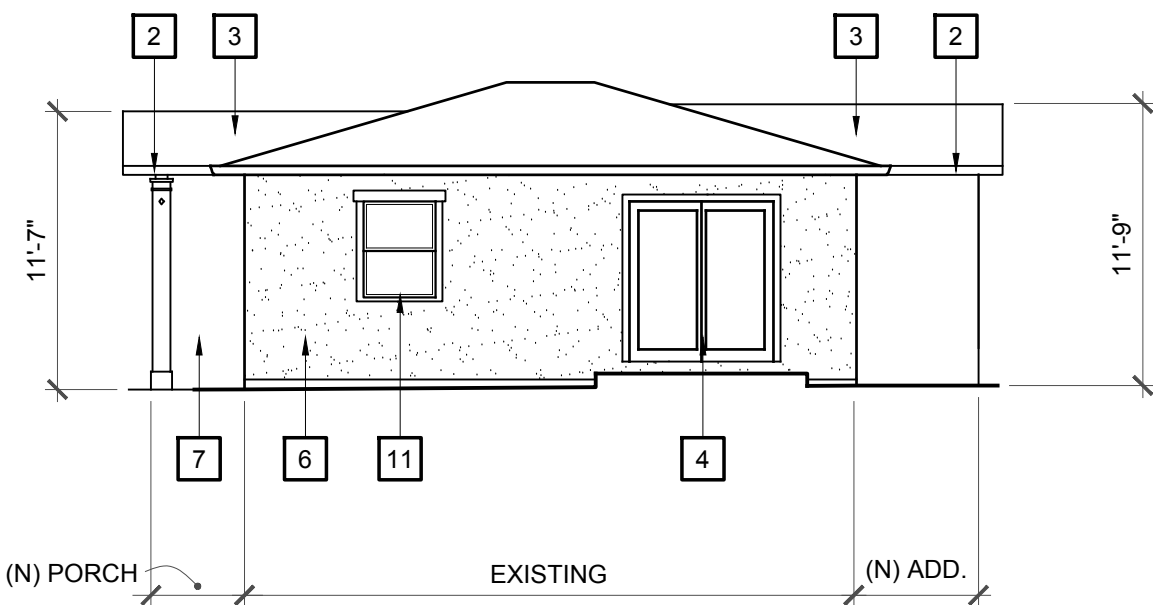
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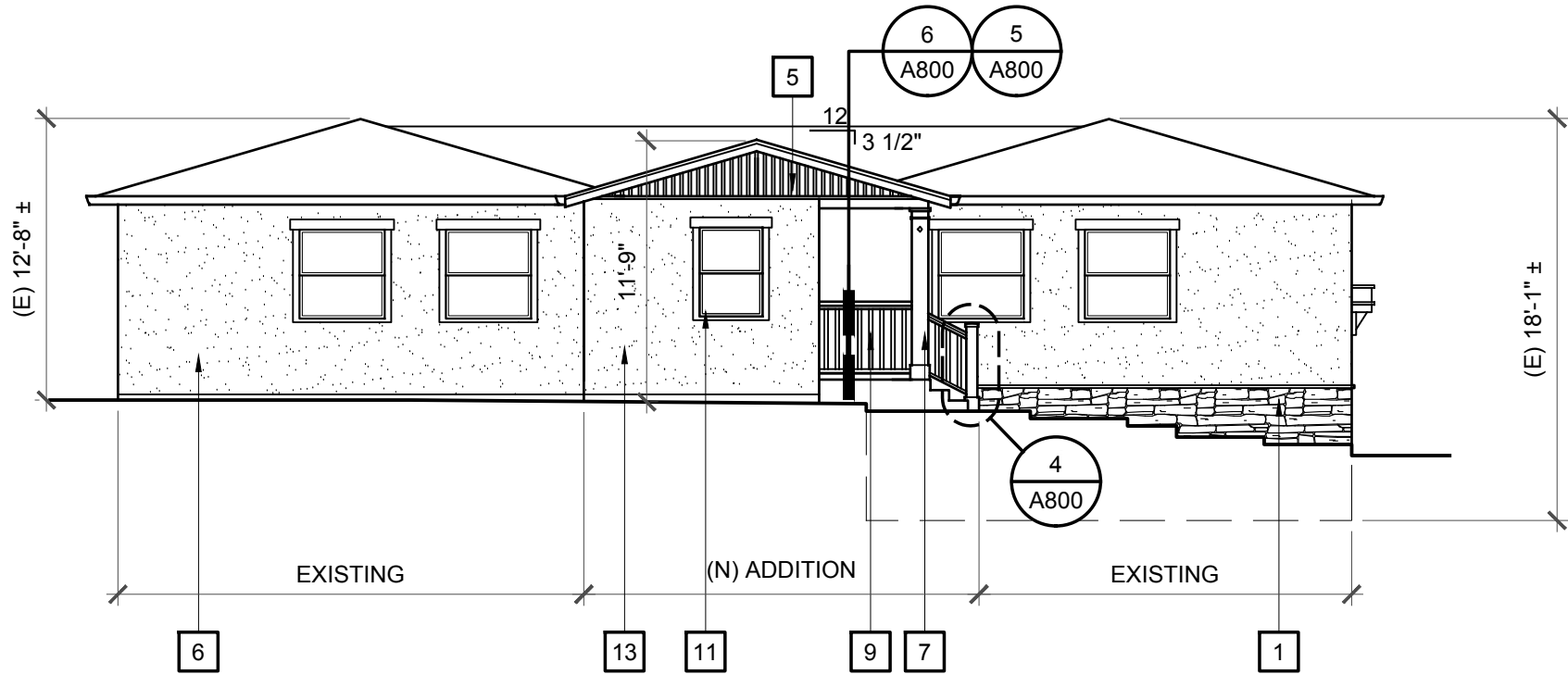
1
PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2
PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"



3
PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



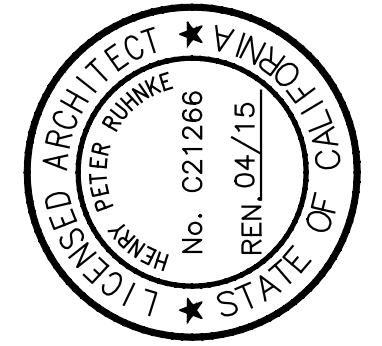
4
PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 STONE VENEER
- 2 NEW 4" OGEE GUTTERS & 2" DIA. DOWNSPOUTS
- 3 NEW ASPHALT COMPOSITION ROOFING TO MATCH EXISTING
- 4 NEW DOOR
- 5 NEW VERTICAL WOOD SIDING
- 6 PAINT EXISTING STUCCO, TYPICAL
- 7 NEW WOOD COLUMN
- 8 NEW PLANTER BOX
- 9 WOOD RAILING
- 10 NEW GARAGE DOOR
- 11 NEW VINYL WINDOW TO MATCH EXISTING
- 12 NEW FLOWER BOX
- 13 NEW STUCCO TO MATCH EXISTING FINISH

Item 8a
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WR&D
WALD RUHNKE & DOST
ARCHITECTS LLP
2340 GARDEN ROAD, SUITE 100
MONTEREY, CALIFORNIA 93940
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FAX: 831.649.3530
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APN: 003-361-023
RESIDENTIAL UNITS
1095 LIGHTHOUSE AVE
MATT TANZI
6711 MT LENEVE
SAN JOSE, CA 95120

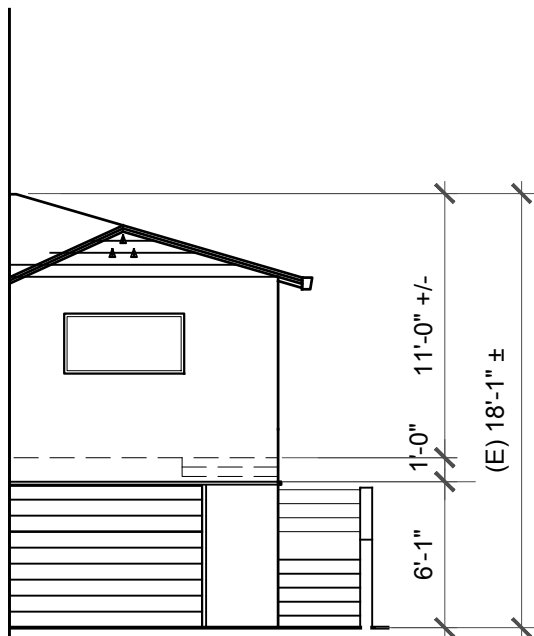
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14049
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PLOT DATE: 8.21.2014
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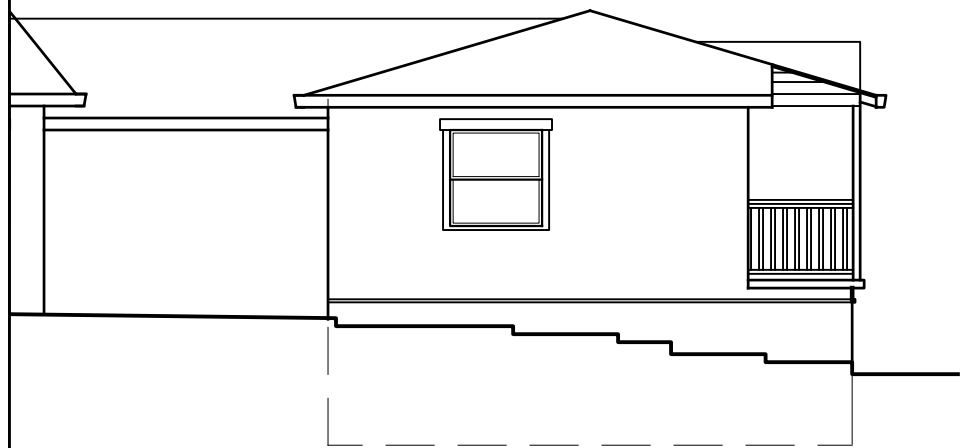
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BUILDING 'B'
EXTERIOR
ELEVATIONS

SHEET NO.:
A302

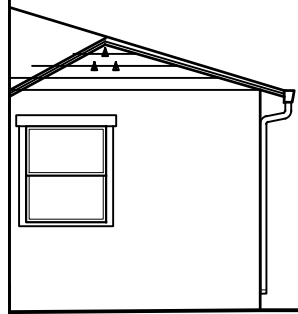
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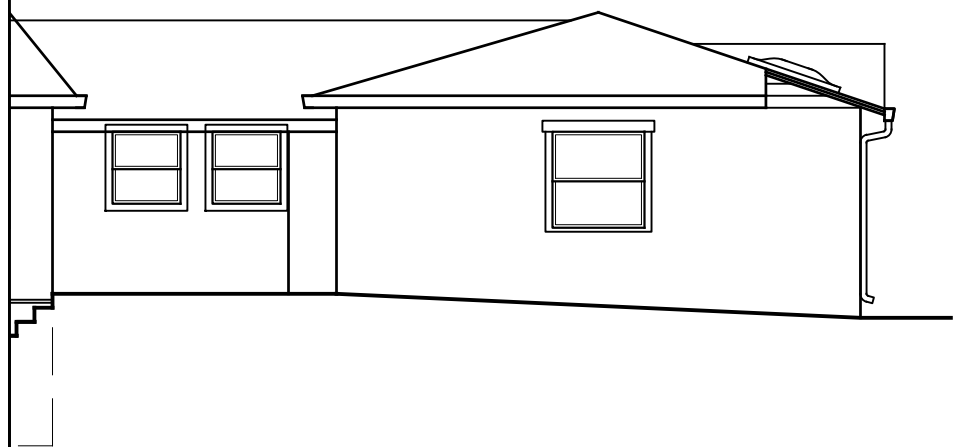
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ELEVATION



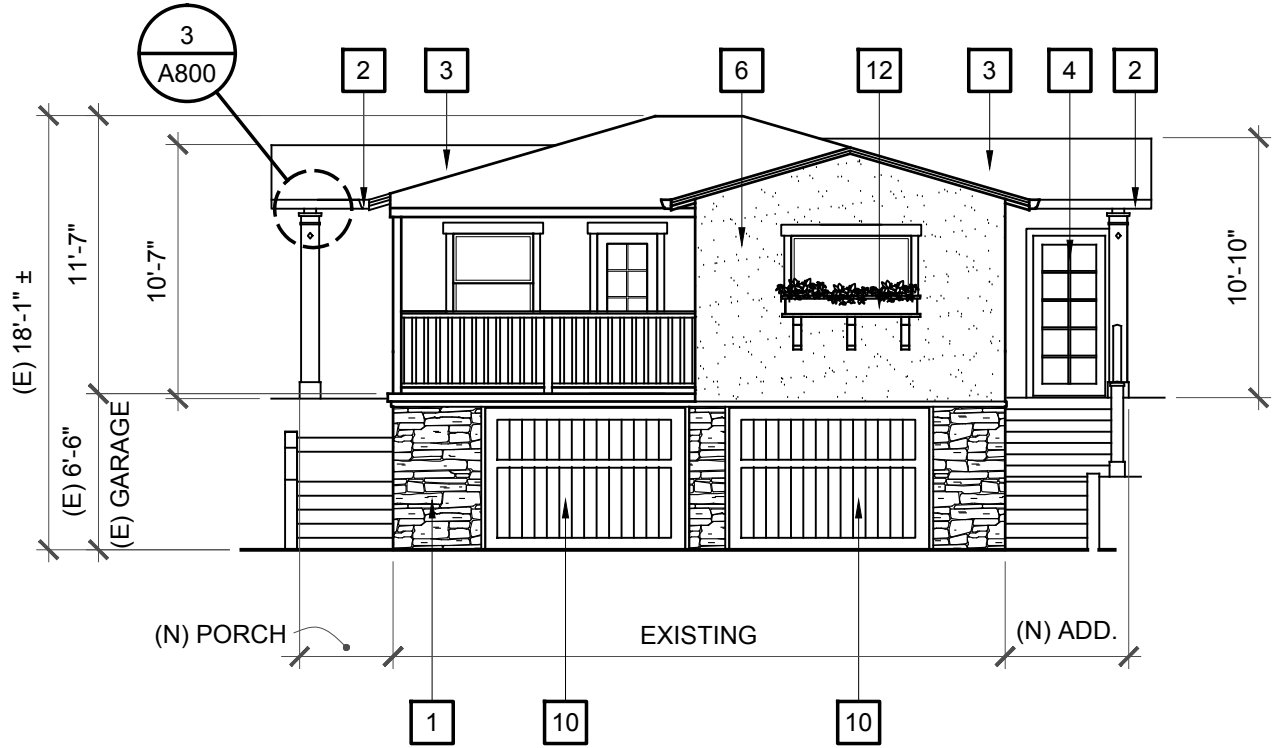
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ELEVATION



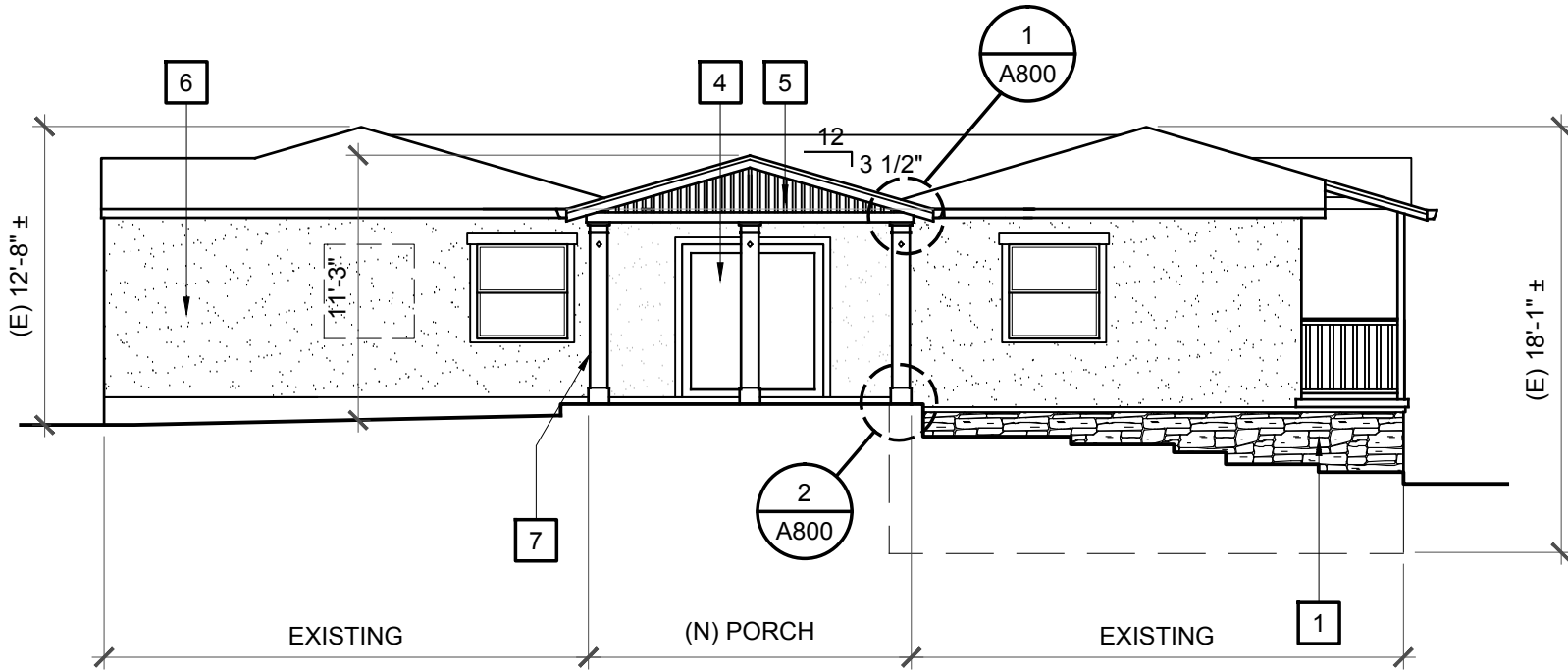
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ELEVATION



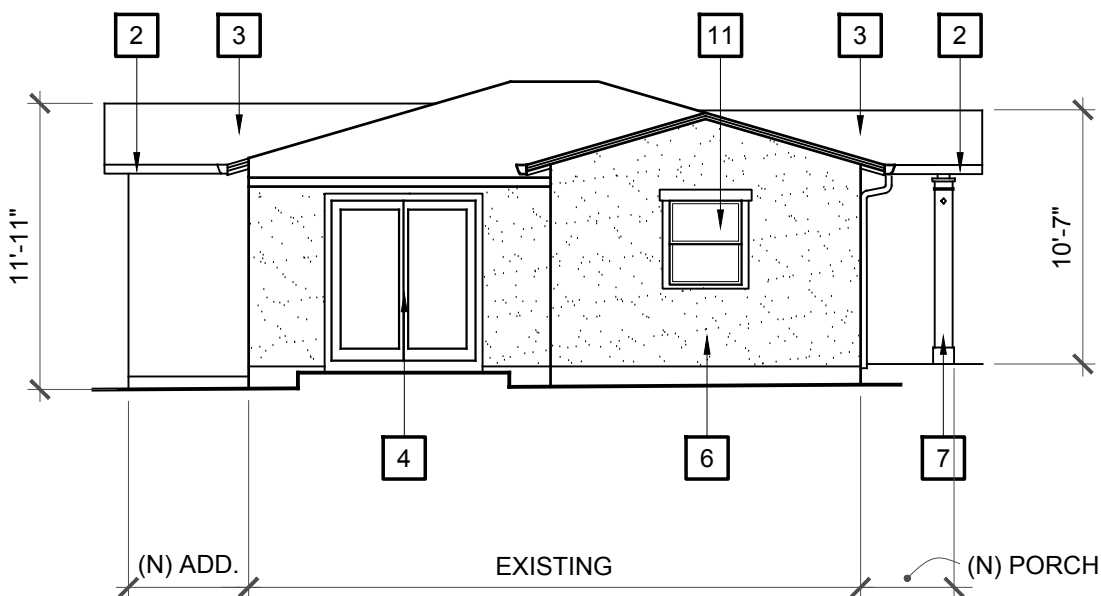
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ELEVATION



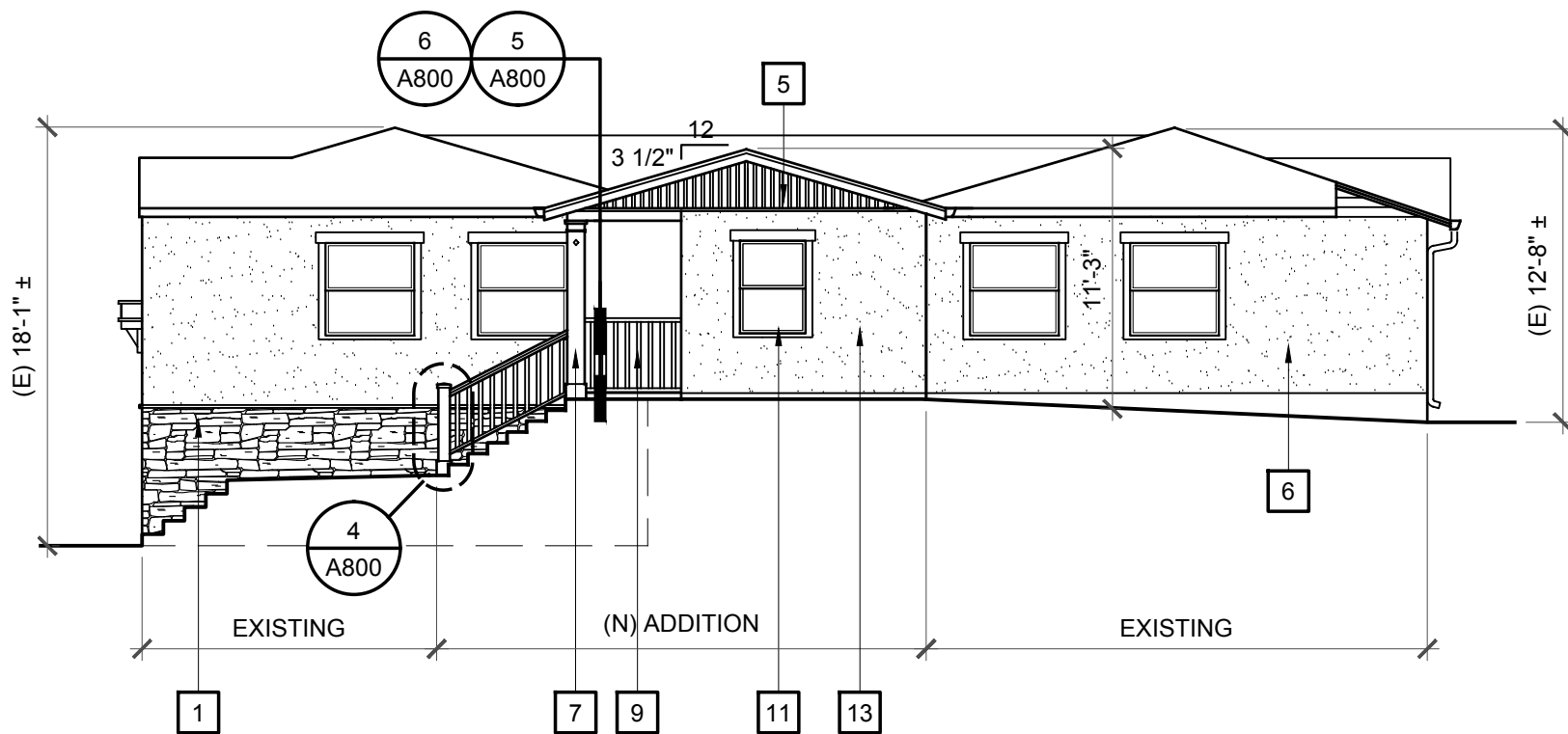
1
PROPOSED
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2
PROPOSED
EAST ELEVATION
SCALE: 1/8" = 1'-0"



3
PROPOSED
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



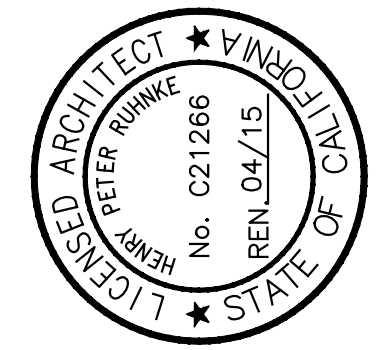
4
PROPOSED
WEST ELEVATION
SCALE: 1/8" = 1'-0"

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 STONE VENEER
- 2 NEW 4" OGEE GUTTERS & 2" DIA. DOWNSPOUTS
- 3 NEW ASPHALT COMPOSITION ROOFING TO MATCH EXISTING
- 4 NEW DOOR
- 5 NEW VERTICAL WOOD SIDING
- 6 PAINT EXISTING STUCCO, TYPICAL
- 7 NEW WOOD COLUMN
- 8 NEW PLANTER BOX
- 9 WOOD RAILING
- 10 NEW GARAGE DOOR
- 11 NEW VINYL WINDOW TO MATCH EXISTING
- 12 NEW FLOWER BOX
- 13 NEW STUCCO TO MATCH EXISTING FINISH

Item 8a
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WALD RUHNKE & DOST
ARCHITECTS LLP
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MONTEREY, CALIFORNIA 93940
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RESIDENTIAL UNITS
1095 LIGHTHOUSE AVE

MATT TANZI
6711 MT LENEVE
SAN JOSE, CA 95120

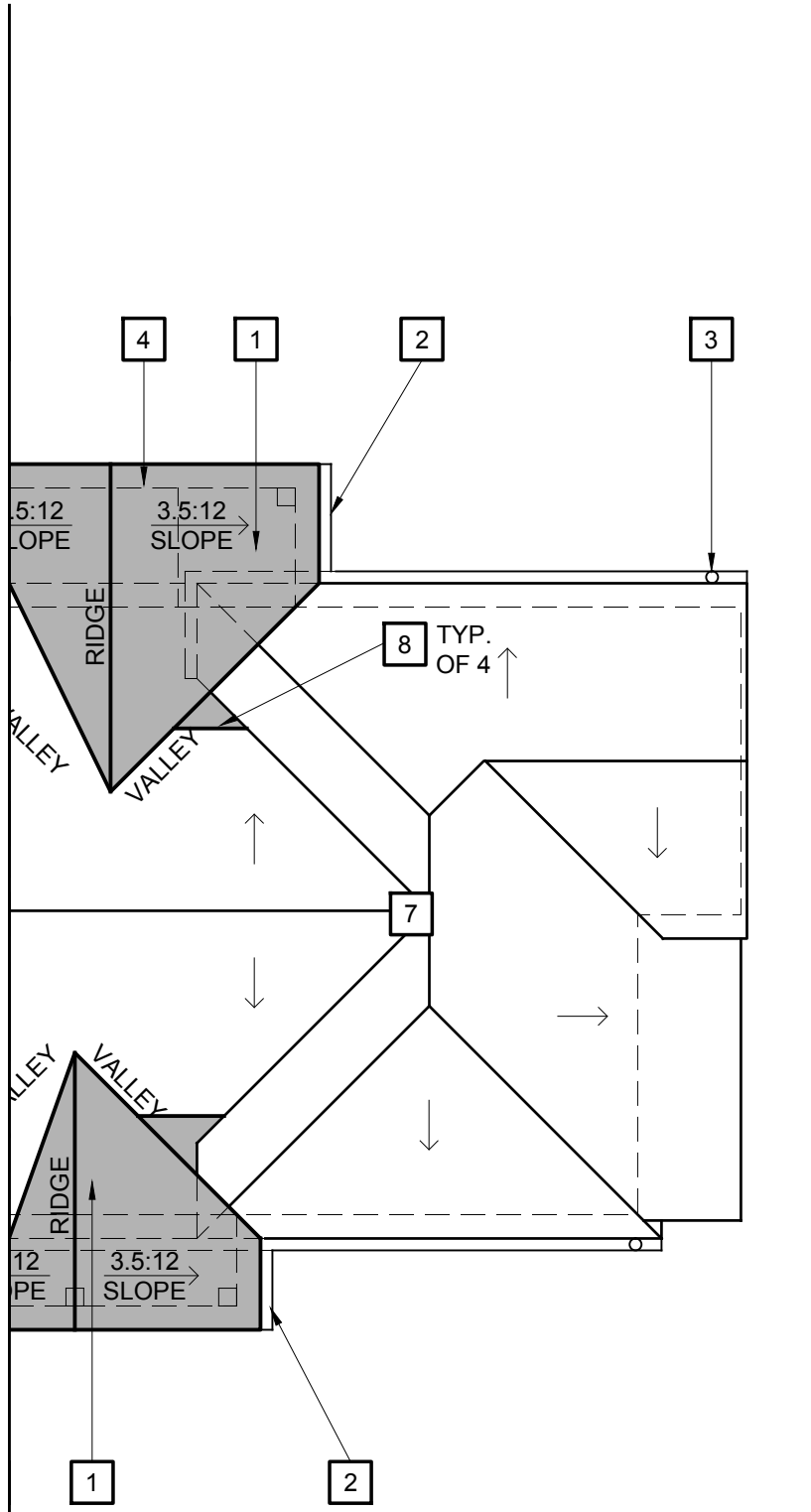
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14049
PRINT DATE:
PLOT DATE: 8.21.2014
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08/21/14 PLANNING SUB.

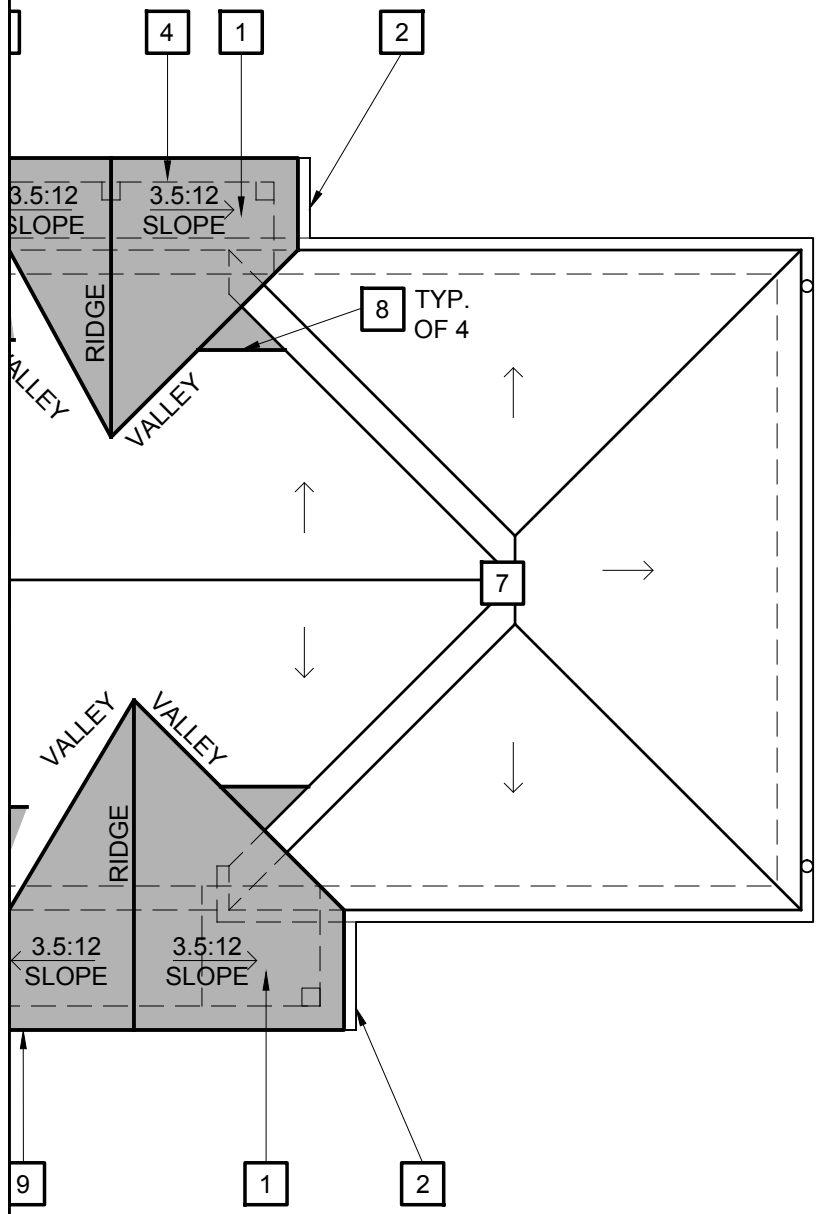
SHEET NAME:
BUILDING 'C'
EXTERIOR
ELEVATIONS

SHEET NO.:
A303

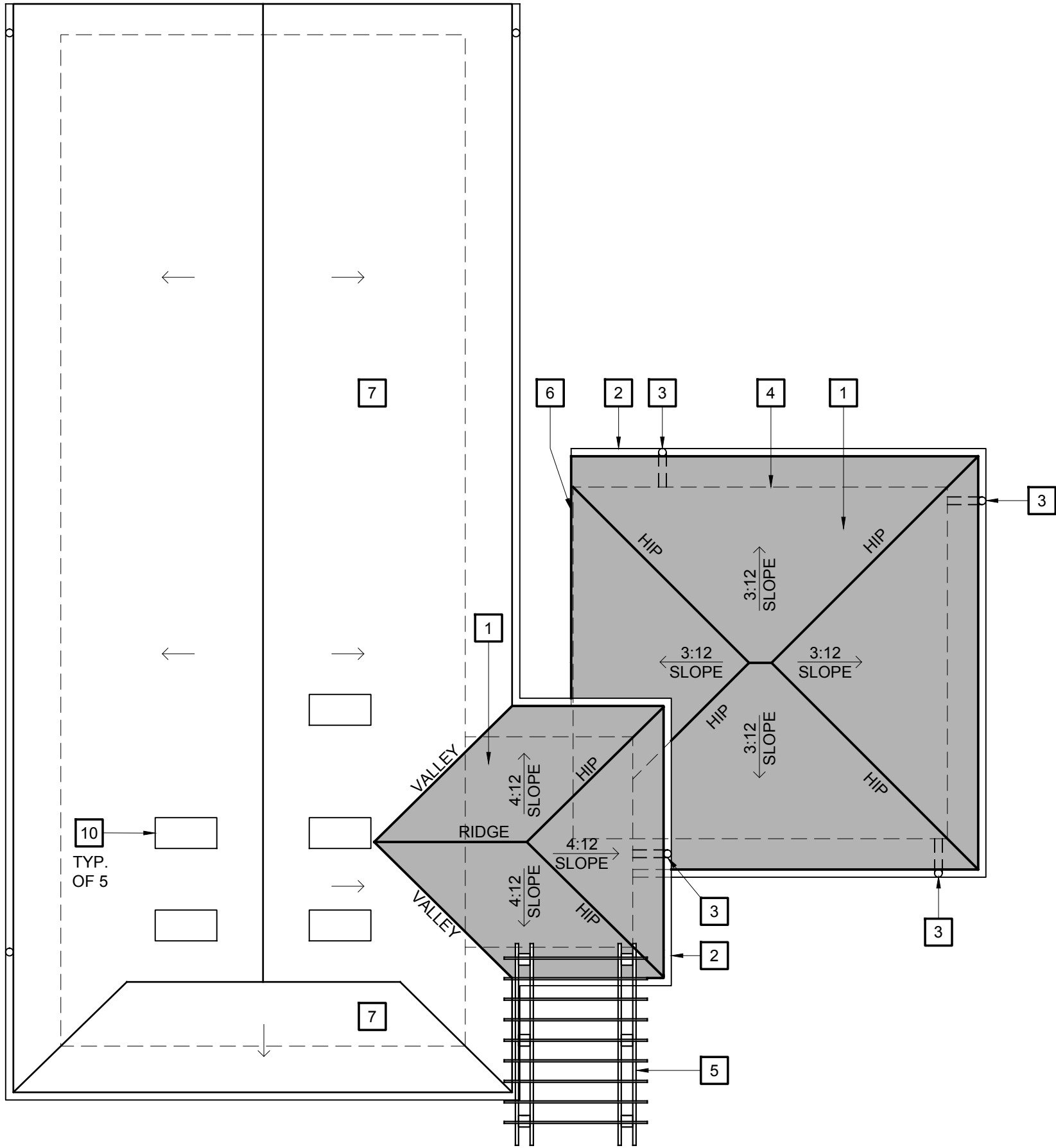
FILE NAME: 14049-A303



NG 'C'
SED ROOF PLAN



NG 'B'
SED ROOF PLAN



1 BUILDING 'A'
PROPOSED ROOF PLAN

SCALE: 1/8" = 1'-0"

NOTE:
ROOFS ARE EXISTNG.
SHADED AREAS ARE PROPOSED

KEY NOTES

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- 1 NEW ASPHALT COMPOSITION ROOFING TO MATCH EXISTING
- 2 NEW 4" OGEE GUTTER.
- 3 2" DIA. DOWNSPOUTS.
- 4 WALL LINE BELOW, TYP.
- 5 WOOD TRELLIS.
- 6 NO OVERHANG.
- 7 EXISTING ASPHALT COMPOSITION SHINGLES.
- 8 GSM CRICKET.
- 9 GABLE RAKE.
- 10 EXISTING 2x4 SKYLIGHT.

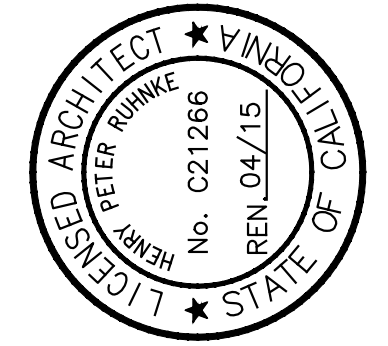
Item 8a
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ARCHITECTS LLP

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RESIDENTIAL UNITS
1095 LIGHTHOUSE AVE

MATT TANZI
6711 MT LENEVE
SAN JOSE, CA 95120

JOB NO.:
14049

PRINT DATE:
PLOT DATE: 8.21.2014

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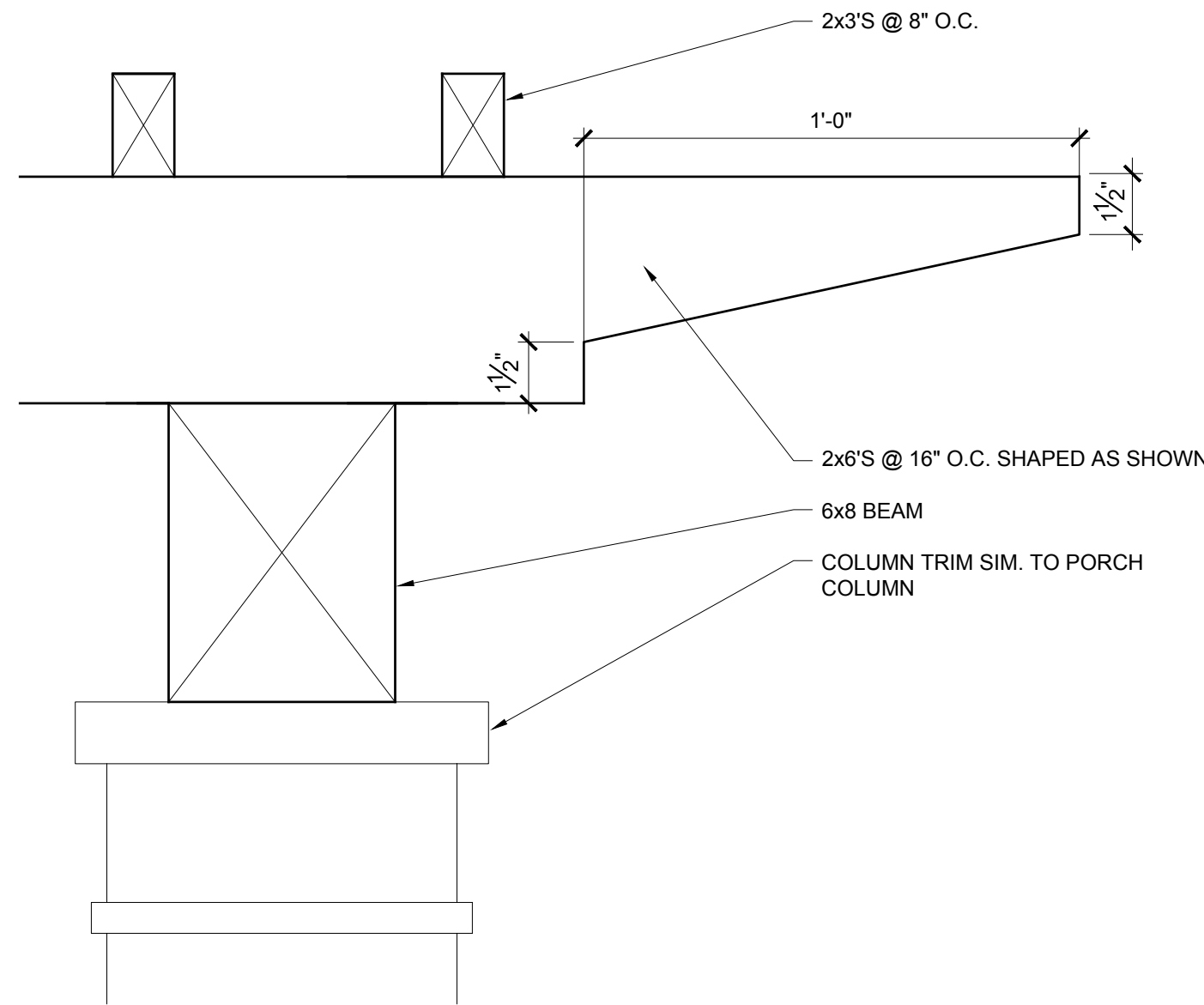
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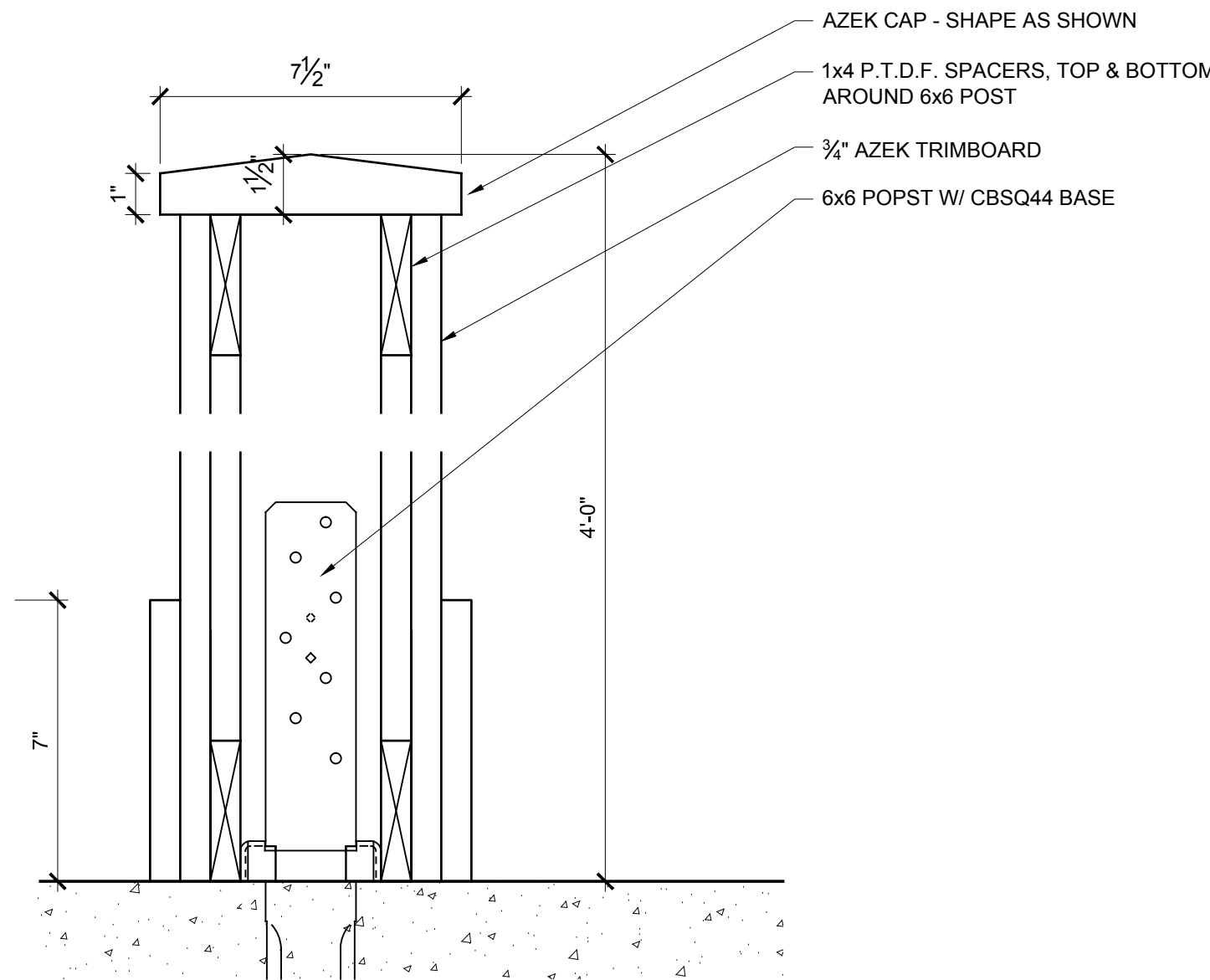
ROOF PLANS

SHEET NO.:
A401

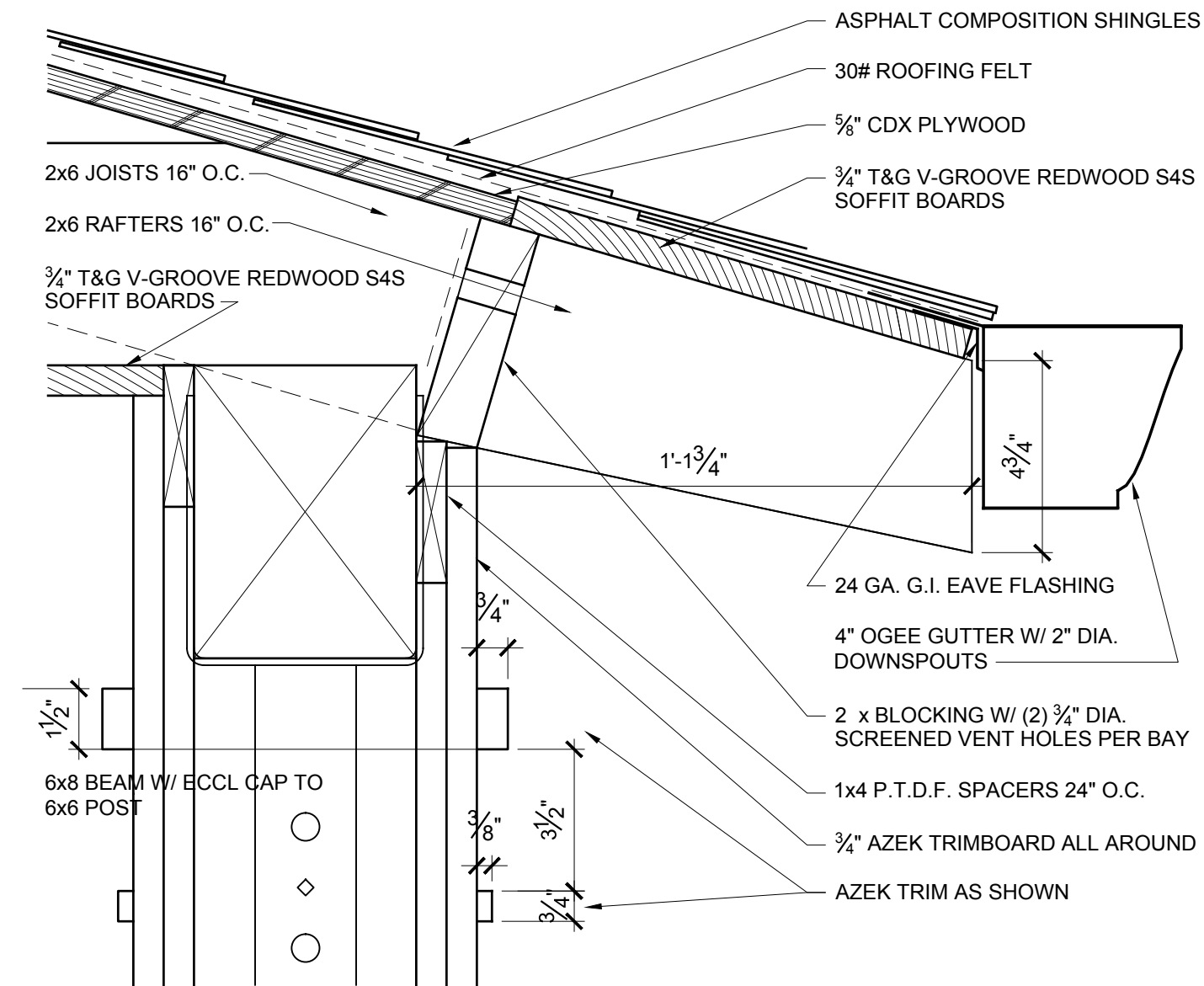
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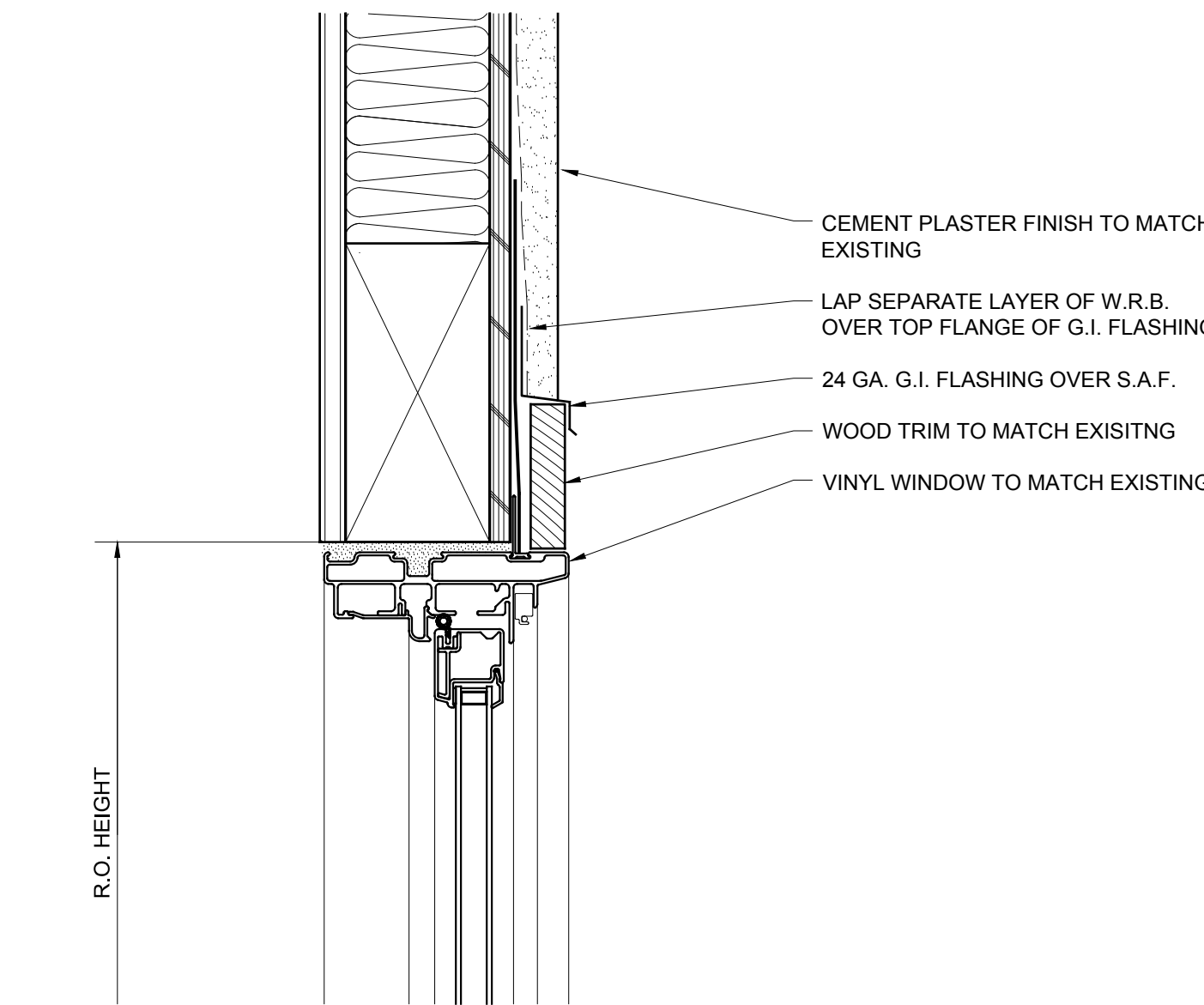
7 **TRELLIS**
SCALE: 3" = 1'-0"



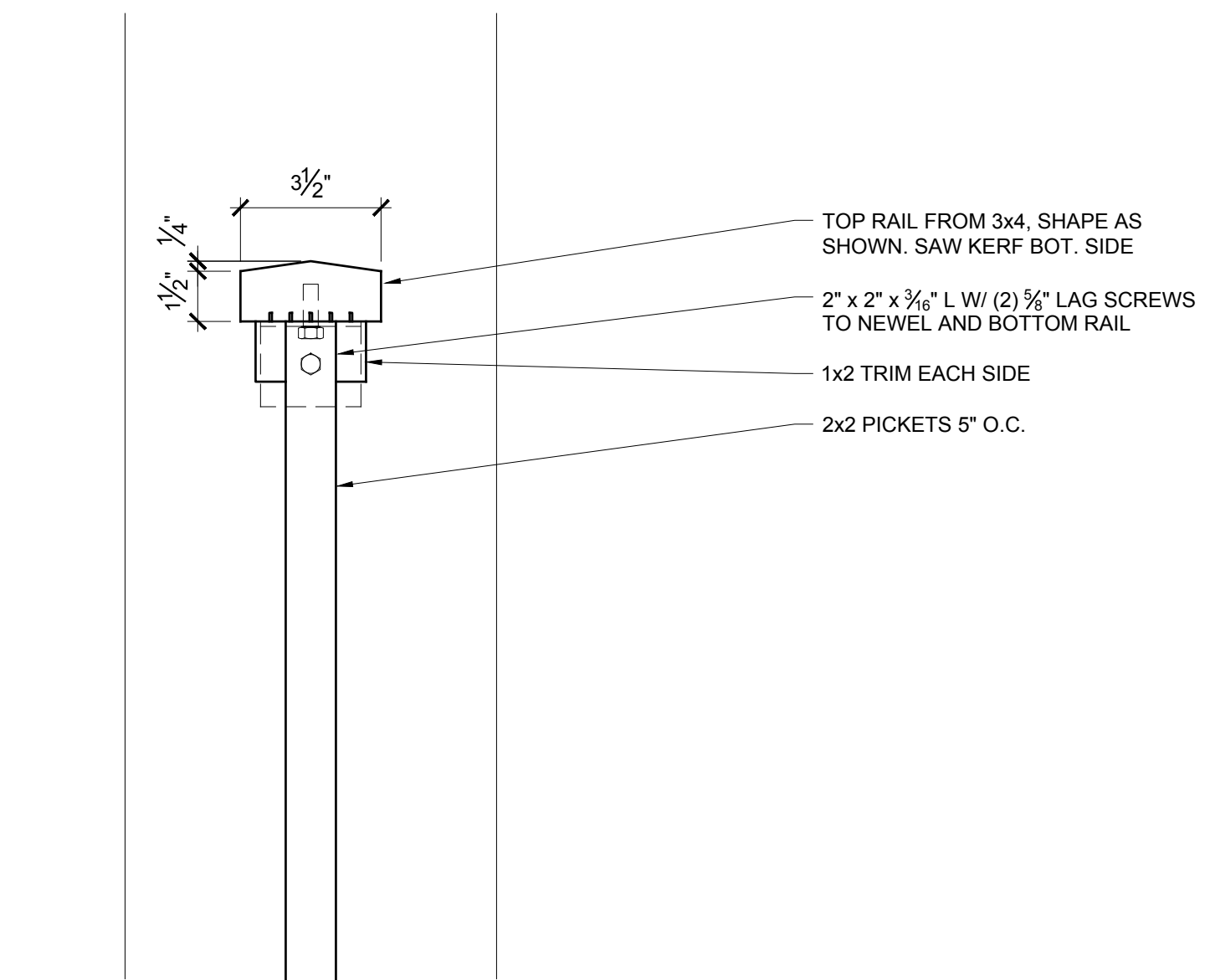
4 **NEWEL AT PORCH STAIRS**
SCALE: 3" = 1'-0"



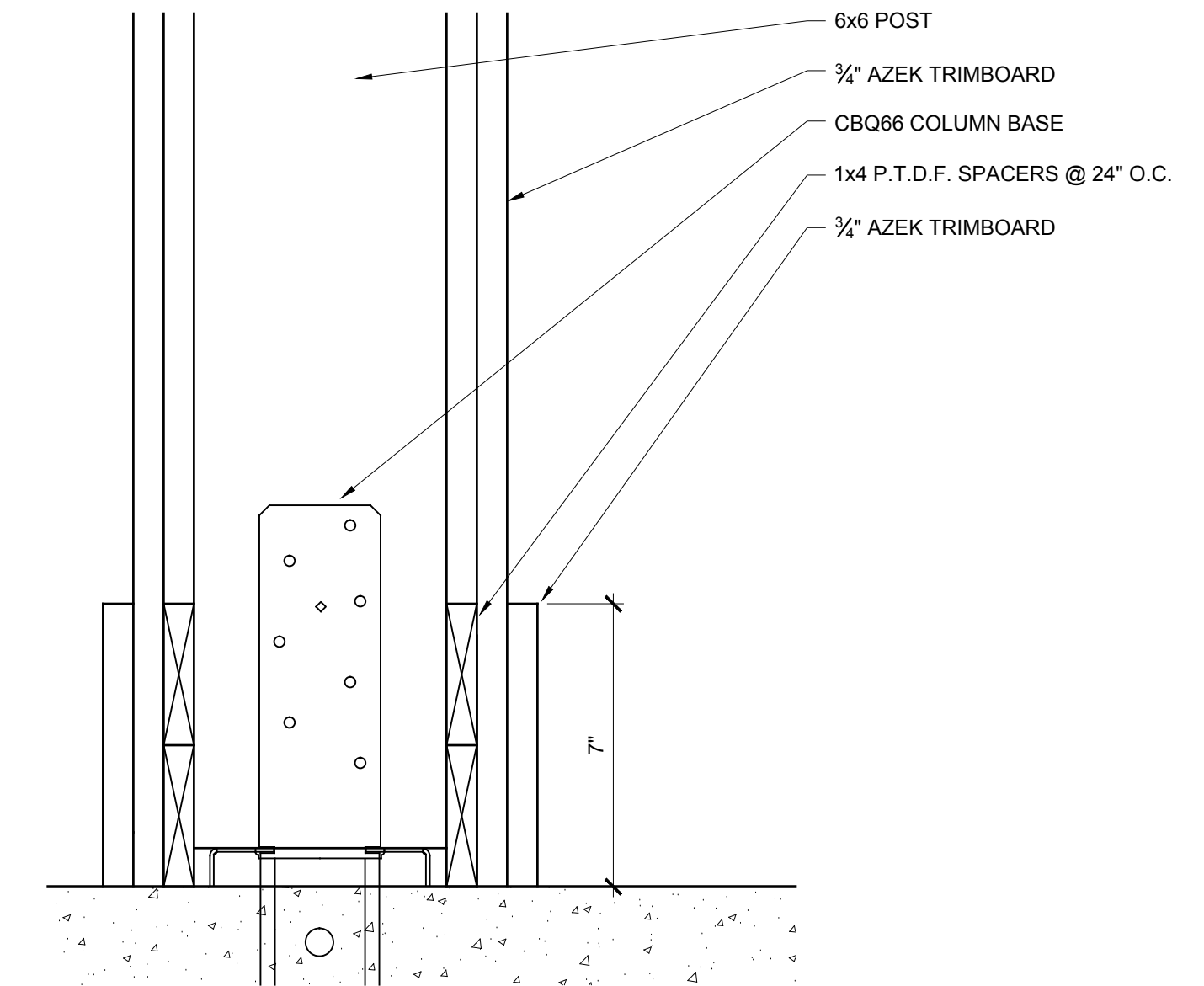
1 **ROOF EAVE AT PORCH COLUMN**
SCALE: 3" = 1'-0"



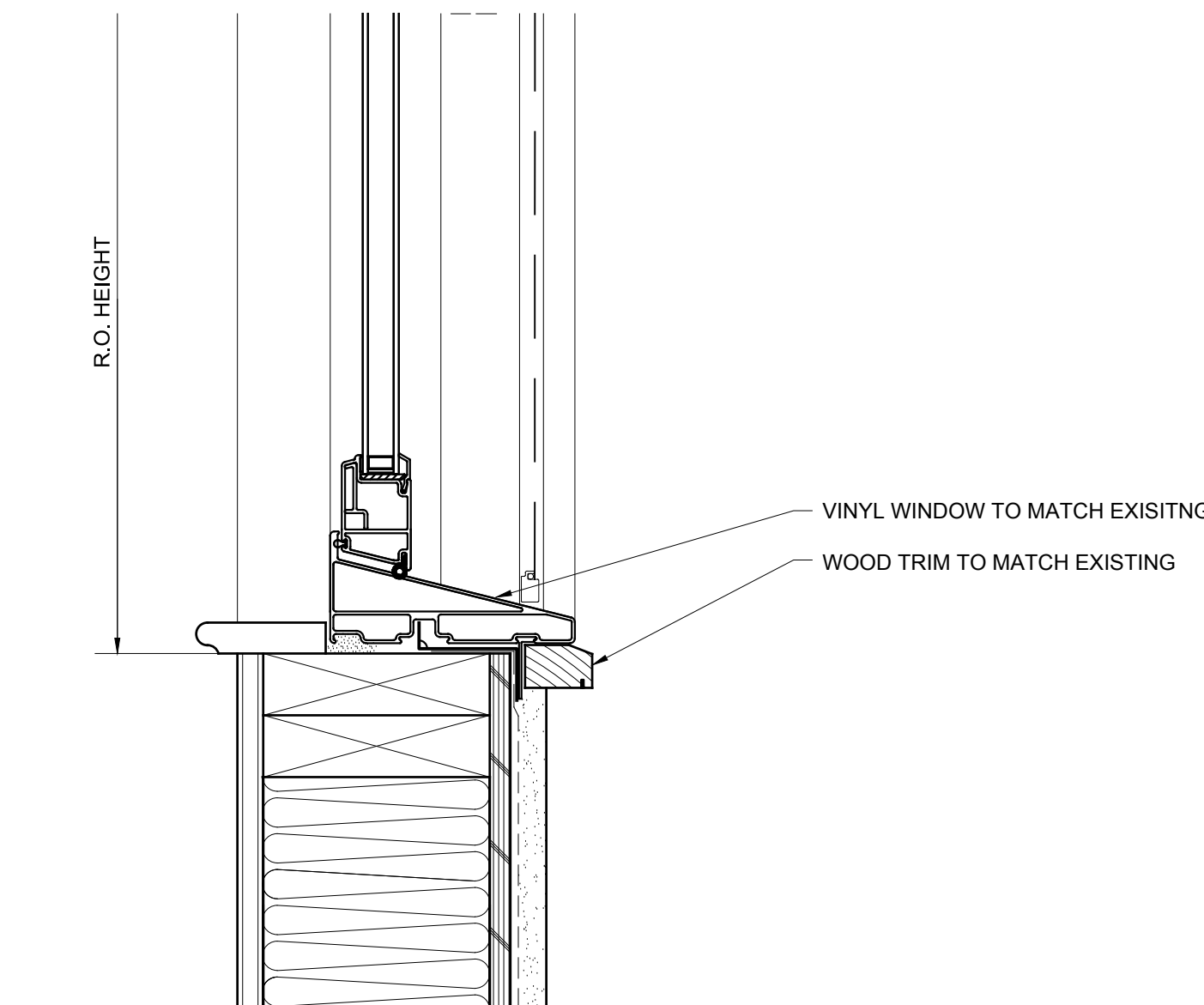
8 **WINDOW HEAD**
SCALE: 3" = 1'-0"



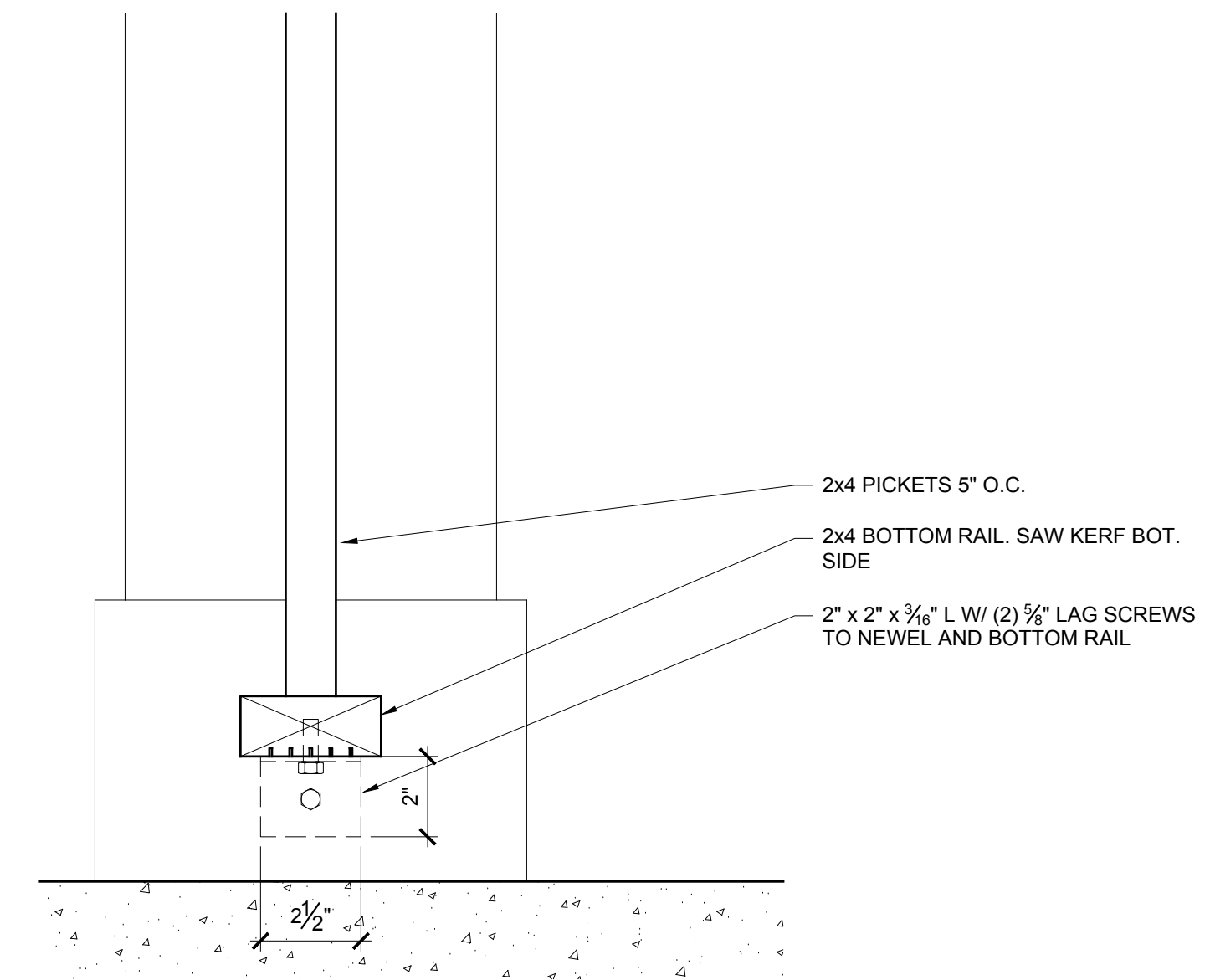
5 **PORCH RAILING TOP**
SCALE: 3" = 1'-0"



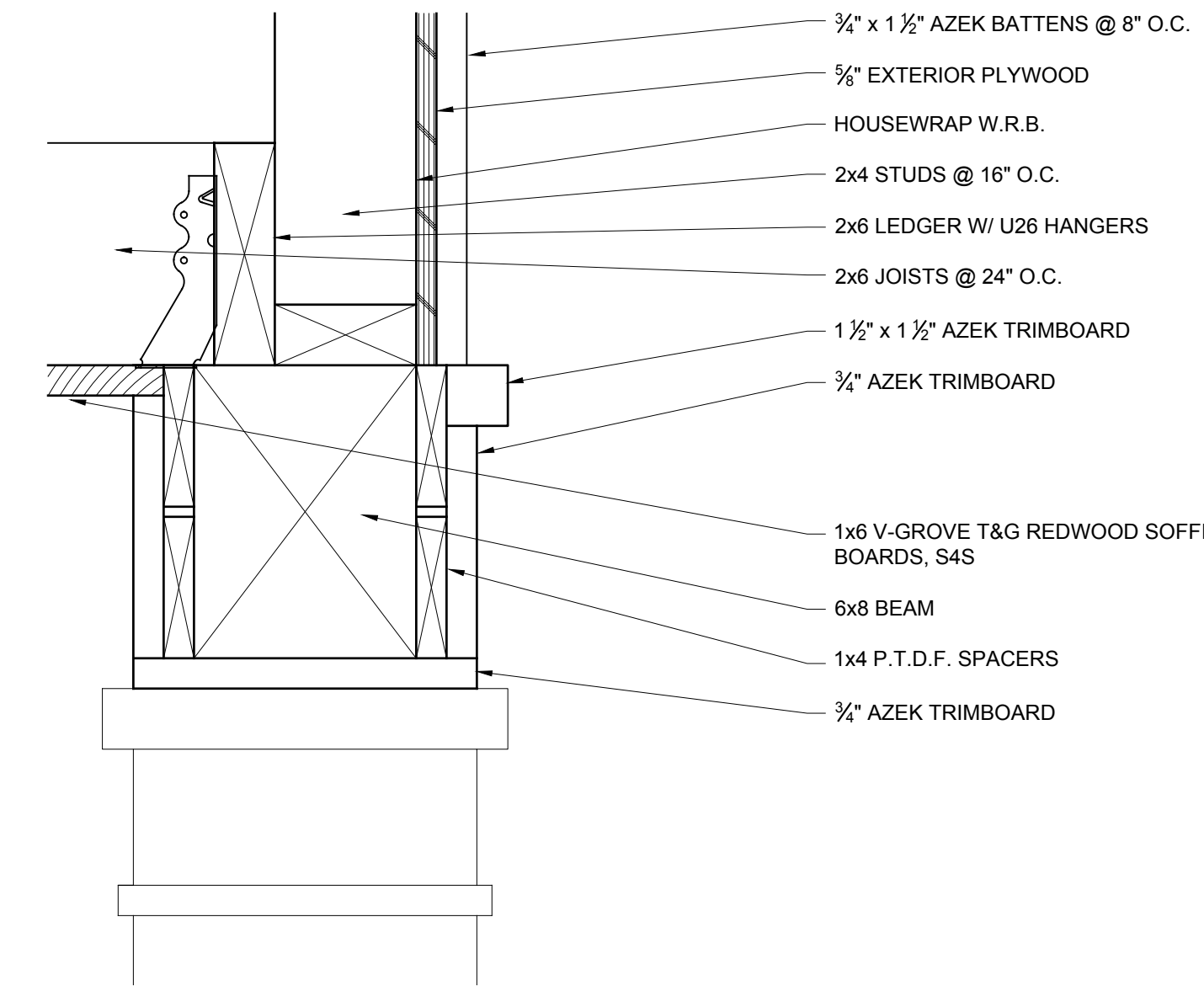
2 **PORCH COLUMN BASE**
SCALE: 3" = 1'-0"



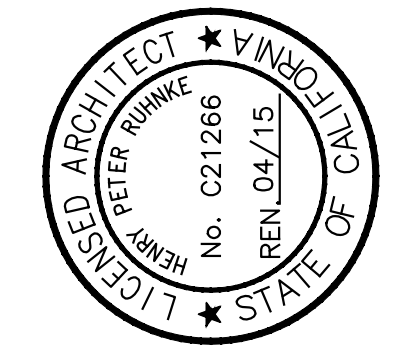
9 **WINDOW SILL**
SCALE: 3" = 1'-0"



6 **PORCH RAILING AT BOTTOM**
SCALE: 3" = 1'-0"



3 **PORCH BEAM**
SCALE: 3" = 1'-0"



APN: 003-361-023

RESIDENTIAL UNITS
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SAN JOSE, CA 95120

JOB NO.:
14049
PRINT DATE:
PLOT DATE: 8.21.2014
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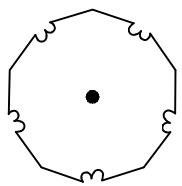
DETAILS
SHEET NO.:
A800
FILE NAME: 14049-A801

LANDSCAPE NOTES

CAUTION: CONTRACTOR SHALL NOTE LOCATIONS OF EXISTING UNDERGROUND UTILITIES AND USE APPROPRIATE CAUTION WHEN PERFORMING WORK IN THOSE AREAS, INCLUDING EXCAVATION BY HAND TOOLS IF NECESSARY FOR SAFETY.
NOTIFY UNDERGROUND SERVICE ALERT OF NORTHERN CALIFORNIA AT LEAST TWO WORKING DAYS PRIOR TO ANY EXCAVATION ON THIS PROJECT. TELEPHONE (800) 227-2600 WWW.USANORTH.ORG

1. Remove all debris, rocks over 1 inch size, and weeds from planting areas.
2. Grade all planting areas to a smooth, uniform slope with positive drainage towards drain inlets or swales, 2% away from buildings. Planting beds shall be contoured as shown on plans. Finish grade shall be 2" below top of adjacent paving. Where wood chip mulch is used, lower grade to 3" within 1' of adjacent paving, to hold chips in place.
3. Submit a soil sample to an independent soil testing laboratory (Perry Laboratory, 424 Airport Blvd, Watsonville Ca 95076, or equal) for analysis of soil's ability to maintain & support the ornamental landscaping. For bidding purposes, contractor shall quote the following amendments as unit prices, and adjust actual amounts to be used based on lab's recommendations for major and minor nutrients and soil amendments. Contract price to be adjusted accordingly. Organic soil amendment: 5 yards /1,000 sf. Amendments should be applied to the new landscape areas and be incorporated into the upper 6-8" of the soil profile.
4. Do not plant any shrub, perennials or groundcover closer than 24" from adjacent paving. Do not plant any tree closer than 4' from adjacent paving. Where trees must be planted closer than 6 feet from adjacent paving or building, contractor shall provide a linear deep root barrier (Shawtown ep-1250 or approved equal.)
5. Use 21-gram Agriform plant tab fertilizer 21-10-5 as follows: 1 gallon plant: 1 tab 15 gallon plant: 3 tabs 5 gallon plant: 2 tabs 24 inch box plant: 6 tabs plant tabs shall be evenly spaced in bottom of hole, on side of rootball.
6. All planting areas shall be top dressed two inches deep with approved wood mulch. Provide sample to owner's rep for approval.

CONCEPT PLANT SCHEDULE



BROADLEAF EVERGREEN TREE 15 GAL OR LARGER
ARBUTUS HYBRID 'MARINA' STD / MARINA HYBRID STRAWBERRY TREE, STANDAR
QUERCUS AGRIFOLIA / COAST LIVE OAK
RHAPHIOLEPIS INDICA 'MAJESTIC BEAUTY' TM / MAJESTIC BEAUTY INDIAN HAW
TRISTANOPSIS LAURINA 'ELEGANT' / ELEGANT WATER GUM



PERENNIALS 1/5 GALLON
ACHILLEA MILLEFOLIUM 'PAPRIKA' / RED YARROW
ANIGOZANTHOS HYBRID / KANGAROO PAW



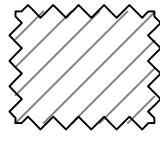
SHRUBS 5 GALLON
ARCTOSTAPHYLOS HOOKERI 'WAYSIDE' / HOOKER'S MANZANITA
CARPENTERIA CALIFORNICA / BUSH ANEMONE
CEANOTHUS X 'JULIA PHELPS' / CALIFORNIA LILAC
DIETES VEGETA / AFRICAN IRIS
ECHIUM FASTUOSUM / PRIDE OF MADEIRA
GARRYA ELLIPTICA / COAST SILKTASSEL
HETEROMELES ARBUTIFOLIA / TOYON
LAVATERA ASSURGENTIFLORA / ISLAND SHRUB MALLOW
RHAMNUS CALIFORNICA / CALIFORNIA COFFEE BERRY
SALVIA LEUCANTHA / MEXICAN BUSH SAGE
WESTRINGIA FRUTICOSA / COAST ROSEMARY



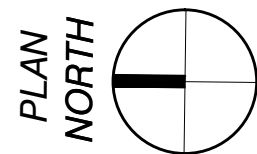
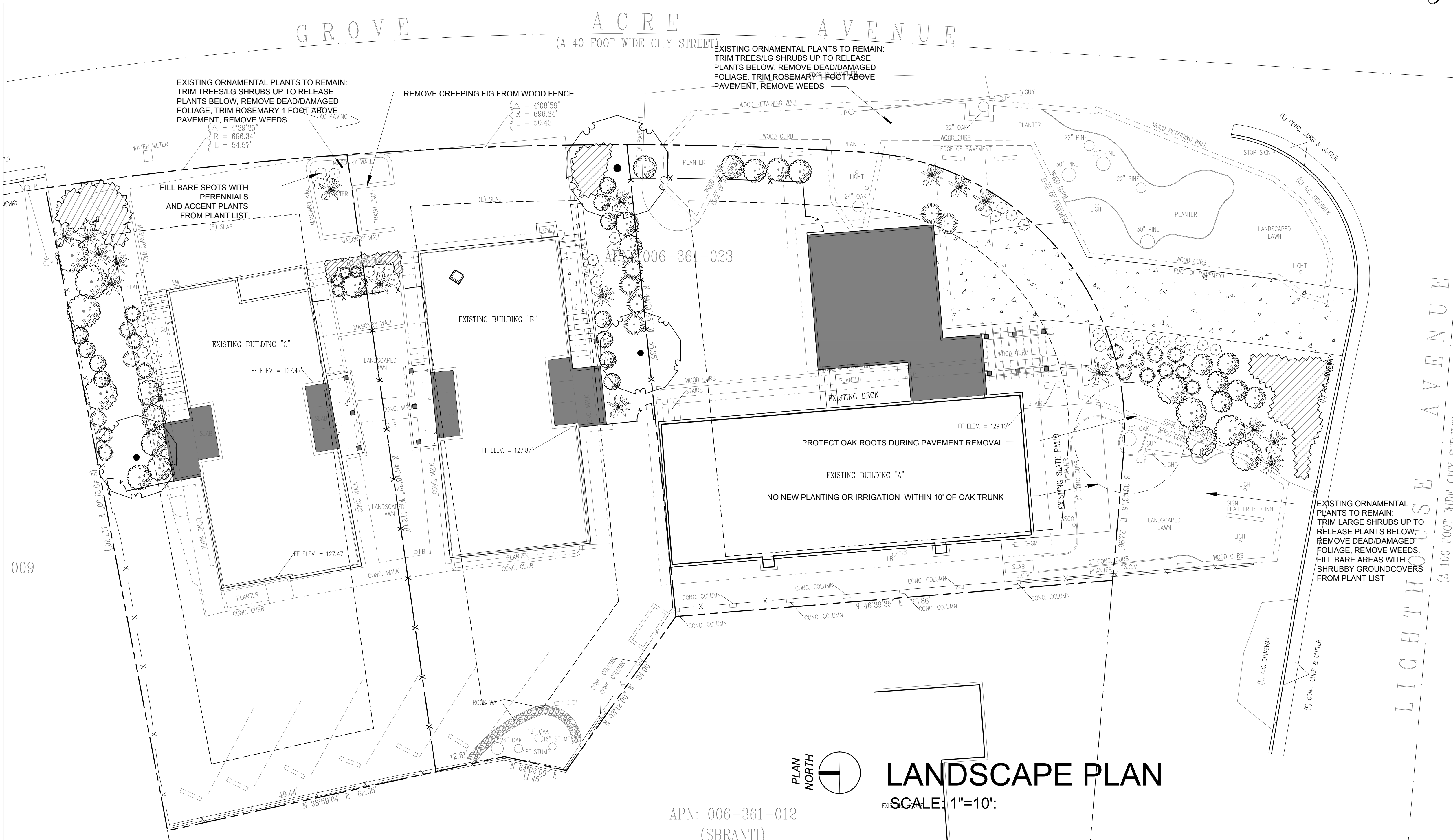
ACCENT SHRUBS
PHORMIUM TENAX 'AMAZING RED' / DWARF RED FLAX
PHORMIUM TENAX 'YELLOW WAVE' / NEW ZEALAND FLAX



GRASSES 1/5 GALLON
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS
FESTUCA GLAUCA / BLUE FESCUE
MUHLENBERGIA RIGENS / DEER GRASS
PENNISETUM SETACEUM 'RUBRUM' / PURPLE LEAVED FOUNTAIN GRASS



SHRUBBY GROUNDCOVERS
CEANOTHUS GRISAEUS HORIZONTALIS / CARMEL CREEPER
CONVOLVULUS SABATIUS / GROUND MORNING GLORY
SALVIA X 'BEE'S BLISS' / SAGE



LANDSCAPE PLAN

SCALE: 1"=10':

APN: 006-361-012
(SBRANTI)

Item 2a
50

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WALD RUHNKE & DOST
ARCHITECTS LLP

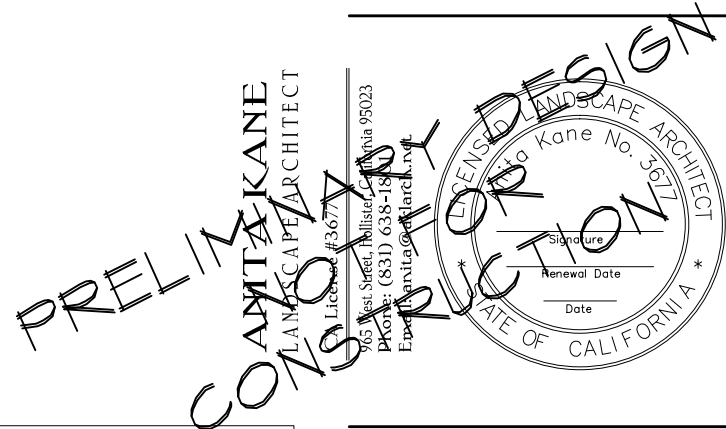
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A.P.N.

TANZI-ANTON INN

MATT TANZI
GROVE ACRE AVE X LIGHTHOUSE AVE
PACIFIC GROVE, CA

JOB NO.:

14049

PRINT DATE:

PLOT DATE: 7.29.2014

DRAWN BY:

CHECKED BY:

SET ISSUED:

SHEET NAME:

CONCEPTUAL
LANDSCAPE PLAN

SHEET NO.:

L-1.0

FILE NAME:



WALD RUHNKE & DOST
ARCHITECTS LLP

2340 Garden Road
Suite 100
Monterey, CA
93940-5347
T: (831) 649-4642
F: (831) 649-3530
www.wrdarch.com

14049
Tanzi – Anton Inn
Exterior Paint Colors

Item 8a

07.29.14

FINISH LEGEND

- UNIT 1 -

U1-P1: Field

Color:

Dunn Edwards – DE6248 Spooky

Note:

Flat / Field

U1-P2: Accent

Color:

Dunn Edwards – DE6320 Pike Lake

Note:

Flat / Wainscot

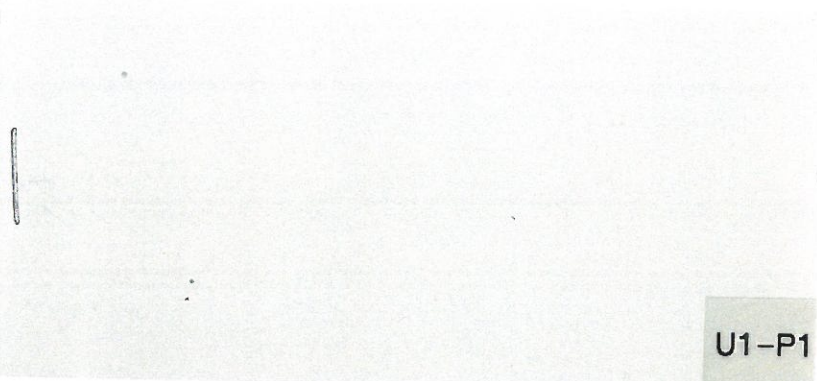
U1-P3: Accent

Color:

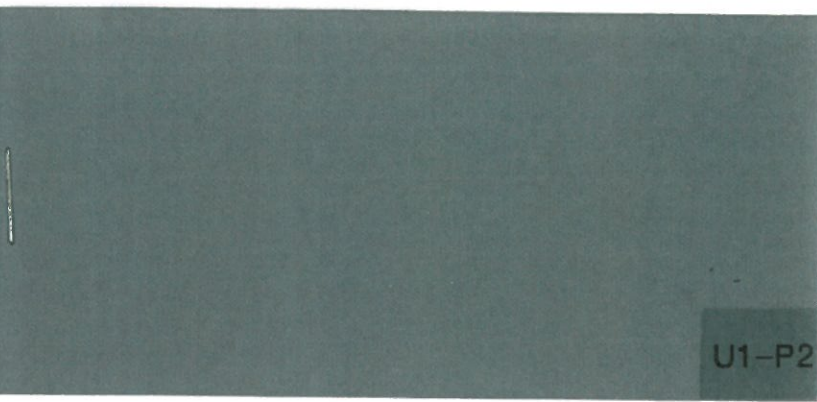
Dunn Edwards – DE5251 Spice Cake

Note:


Eggshell / Fence, Window trim and Door Trim, Door



U1-P1



U1-P2



U1-P3

UNIT 'A' = PORCH & DOORS

LAMPS PLUS

THE NATION'S LARGEST LIGHTING RETAILER

Sale

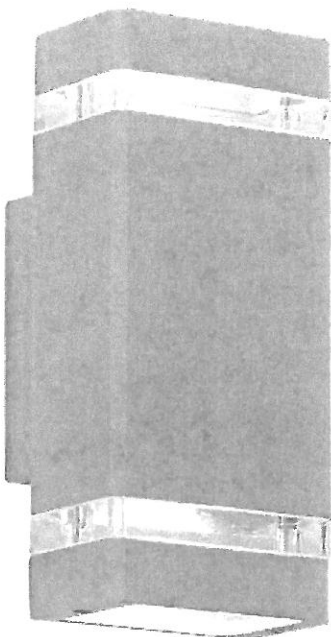
Shop by Room/Trends

Store Locations

Rate **Item 8a** 000-102-1967

LAMPS PLUS | Outdoor Lighting | Possini Euro Design | Possini Euro Rectangular Silver Up/Down Outdoor Wall Light

< Go Back



Possini Euro Rectangular Silver Up/Down Outdoor Wall Light

Style # T1282

[Read 1 Reviews](#) [Write a Review](#)

This contemporary outdoor wall light directs the light up and down for a dramatic effect.

\$89.99 + FREE SHIPPING & FREE RETURNS*

Compare at \$134.99

[Low Price Guarantee](#)

QTY:

☐ **Save Energy!** Purchase with a dimmer

[In Stock - Ships in 1 to 2 Days](#) | [Check Store Availability](#)

Need Help?

[Live Chat](#)

[Personal Callback](#)

Industrial styling and matte silver finish give this outdoor wall light from Possini Euro Design a contemporary feel. The rectangular design includes clear glass inserts that allow accents of light out the sides, and bulbs in the top and bottom direct light up and down.

- Die-cast aluminum.
- Matte silver finish.
- Includes two 35 watt GU10 halogen bulbs.
- 10 1/2" high.
- 4 1/2" wide.
- Extends 4 1/4" from the wall.



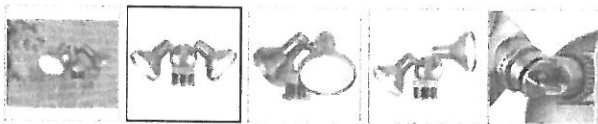
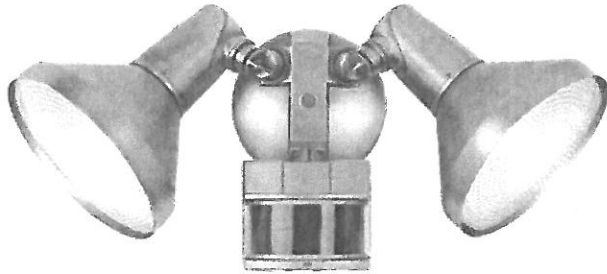
[Zoom/Full Screen](#)

[Email](#)

[Print](#)

[Print](#) 2

[Like](#) 0



[Zoom/Full Screen](#)

[Email](#)

[Print](#)

[Plus](#)

18

[Like](#) 4

Two Light Brushed Nickel Finish Spotlight Motion Sensor

Style # 22127

[Read 9 Reviews](#) [Write a Review](#)

This two light outdoor spotlight with motion sensors features adjustable motion detector sensitivity for maximum security.

Other Options:



\$69.99 + FREE SHIPPING & FREE RETURNS*

[Low Price Guarantee](#)

QTY:

☐ Save Energy! Purchase with a dimmer

[In Stock - Ships in 1 to 2 Days](#) | [Check Store Availability](#)

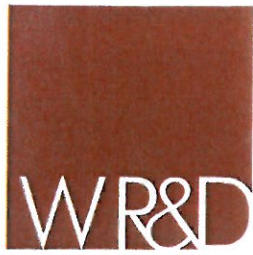
Need Help?

[Live Chat](#)

[Personal Callback](#)

With soft start illumination, bulbs start slowly and turn off slowly to extend the bulb's life. A 240 degree wide angle motion sensor helps cover up to a 100 foot range. You may adjust the light timer from 1 minute to 20 minutes. Adjustable motion detector sensitivity is another perk.

- Brushed nickel finish.
- Approved for outdoor location.
- Adjustable motion detector, 240 degree wide angle motion sensor.
- Soft start option.
- Takes two outdoor 120 watt Par bulbs (not included).
- 17" wide.
- 13" high.
- Extends 8 1/2" from wall.



WALD RUHNKE & DOST
ARCHITECTS LLP

2340 Garden Road
Suite 100
Monterey, CA
93940-5347
T: (831) 649-4642
F: (831) 649-3530
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14049
Tanzi – Anton Inn
Exterior Paint Colors

Item 8a

07.29.14

- UNIT 2 -

U2-P1: Field

Color:

Dunn Edwards – DEC780 Tickled Crow

Note:

Flat / Field

U2-P2: Accent

Color:

Dunn Edwards – DE6230 Center Ridge

Note:

Flat / Wainscot

U2-P3: Accent

Color:

Dunn Edwards – DEC785 Whisper Gray

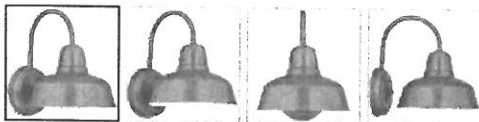
Note:

Eggshell / Fence, Window trim and Door Trim, Door

U2-P1

U2-P2

U2-P3



[Zoom/Full Screen](#)

[Email](#)

[Print](#)

[Pin It](#) 1

[Like](#) 0

Urban Barn Collection 13" High Bronze Outdoor Wall Light

Style # 3W050 - MOST POPULAR!

[Write a Review](#)

Made of metal, this urban inspired wall sconce can be used in both indoor or outdoor locations.

Other Options:



Sale \$79.95 + FREE SHIPPING & FREE RETURNS*

Save \$20 Valid thru 8/24/14 | Reg. \$99.99 | Compare \$149.99

[Low Price Guarantee](#)

QTY:

☐ Save Energy! Purchase with a dimmer

[In Stock - Ships in 1 to 2 Days](#) | [Check Store Availability](#)

Need Help? [Live Chat](#) [Personal Callback](#)

This industrial style outdoor wall light will blend wonderfully in any contemporary or transitional decor. It comes in a rustic oil-rubbed bronze metal finish, ideal for indoor or outdoor use. From John Timberland®.

- Oil-rubbed bronze finish.
- Metal construction.
- For indoor or outdoor use.
- Maximum 100 watt or equivalent bulb (not included).
- 13" high.
- 10" wide.

JOHN TIMBERLAND
LIGHTING



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Cast Aluminum Wet Location Bronze Finish Double Floodlight Style # K5895

[Read 5 Reviews](#) [Write a Review](#)

This wet location rated double flood light has a warm bronze finish.

\$32.91 + FREE SHIPPING & FREE RETURNS*

[Low Price Guarantee](#)

QTY:

☐ Save Energy! Purchase with a dimmer

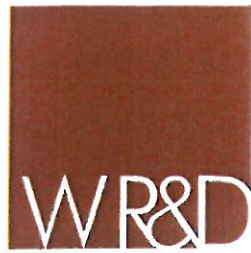
[In Stock - Ships in 1 to 2 Days](#) | [Check Store Availability](#)

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Flood lighting is ideal for illuminating an outdoor space for security and convenience. Beat back the shadows in style with this compact but powerful double flood light. Its bronze finish is versatile.

- Bronze finish.
- Wet location rated.
- Die cast aluminum construction.
- Two maximum 75 watt or equivalent bulbs (not included).
- Baseplate is 5" wide.
- 18 1/2" wide.
- 10 1/2" high.
- Extends 9 1/2" from wall.





WALD RUHNKE & DOST
ARCHITECTS LLP

2340 Garden Road
Suite 100
Monterey, CA
93940-5347
T: (831) 649-4642
F: (831) 649-3530
www.wrdarch.com

14049
Tanzi – Anton Inn
Exterior Paint Colors

Item 8a

07.29.14

- UNIT 3 -

U3-P1: Field

Color: Dunn Edwards – DE5331 Pasta
Note: Flat / Field

U3-P2: Accent

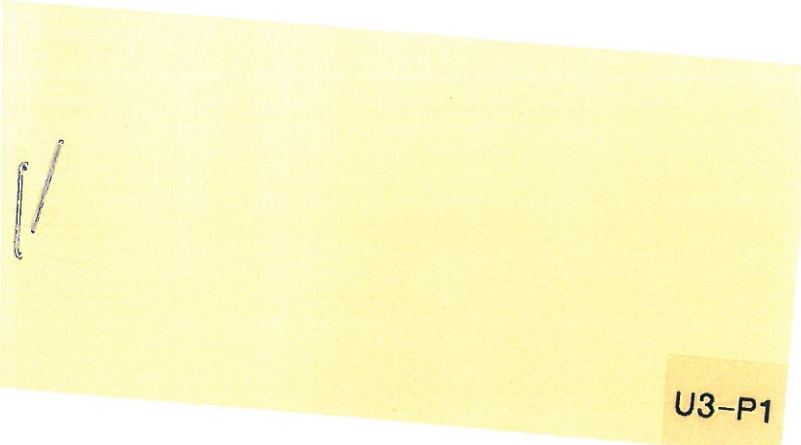
Color: Dunn Edwards – DE6215 Wooden Peg
Note: Flat / Wainscot

U3-P3: Accent

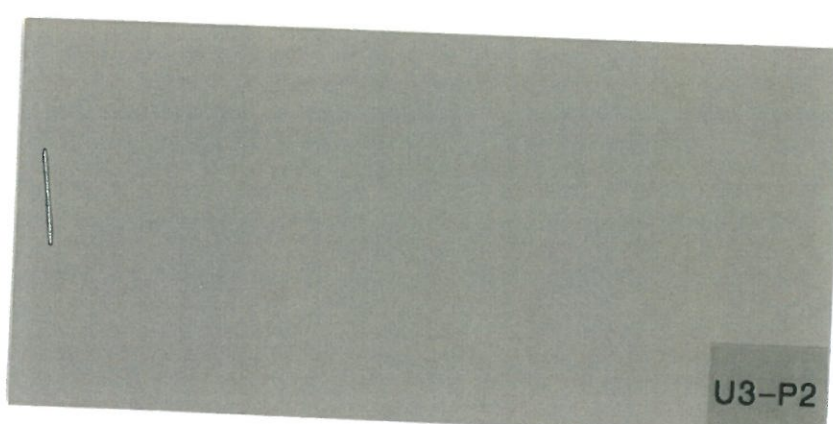
Color: Dunn Edwards – DE6110 Warm Hearth
Note: Eggshell / Fence, Window trim and Door Trim, Door

General Notes:


1. All the paint shall be wrapped on elements.
2. (E) roof to be remained.
3. (E) windows to be remained.



U3-P1



U3-P2



U3-P3



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1

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Feiss Martinsville 10 3/4" High Outdoor Wall Lantern

Style # R9679

[Write a Review](#)

Simple, tasteful and versatile, the Martinsville wall lantern will add a stylish outdoor accent to your home.

\$74.00 + FREE SHIPPING & FREE RETURNS*

[Low Price Guarantee](#)

QTY:

☐ Save Energy! Purchase with a dimmer

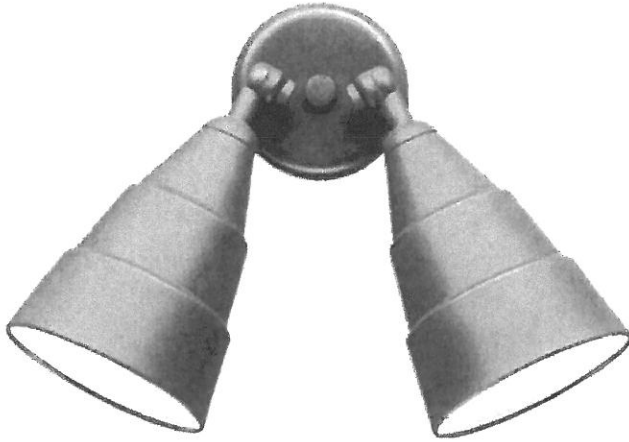
[In Stock - Ships in 1 to 2 Days](#) | [Check Store Availability](#)

Need Help?

Straightforward design and a warm Corinthian Bronze finish make this outdoor wall lantern an inviting choice for your home. The hexagonal fixture is balanced beautifully on the swooping, secure S-hook as light twinkle through its clear, seeded glass. From the Martinsville Collection by Feiss.

- A Feiss outdoor wall lantern design.
- Corinthian bronze finish.
- Clear seeded glass.
- Takes one 100 watt medium base bulb (not included).
- 10 3/4" high.
- 6 1/4" wide.
- Extends 7 1/4" from the wall.

FEISS
EST. 1952



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Wet Location Bronze Finish Double Outdoor Floodlight

Style # 23483

[Read 3 Reviews](#) [Write a Review](#)

A functional light with a sophisticated finish.

Other Options:

\$83.00 + FREE SHIPPING & FREE RETURNS*

[Low Price Guarantee](#)

QTY:

☐ **Save Energy!** Purchase with a dimmer

[In Stock - Ships in 1 to 2 Days](#) | [Check Store Availability](#)

Need Help? [Live Chat](#) | [Personal Callback](#)

Exterior flood lighting offers additional piece of mind and ease in using your outdoor spaces. Beat back the shadows with the refined style of this flood light design.

- Architectural Bronze finish.
- Wall or ceiling mountable.
- UL listed for wet location.
- A Kichler outdoor floodlight design.
- Takes two 90 watt PAR 38 flood bulbs (not included).
- 12" wide.
- 12" high.

KICHLER